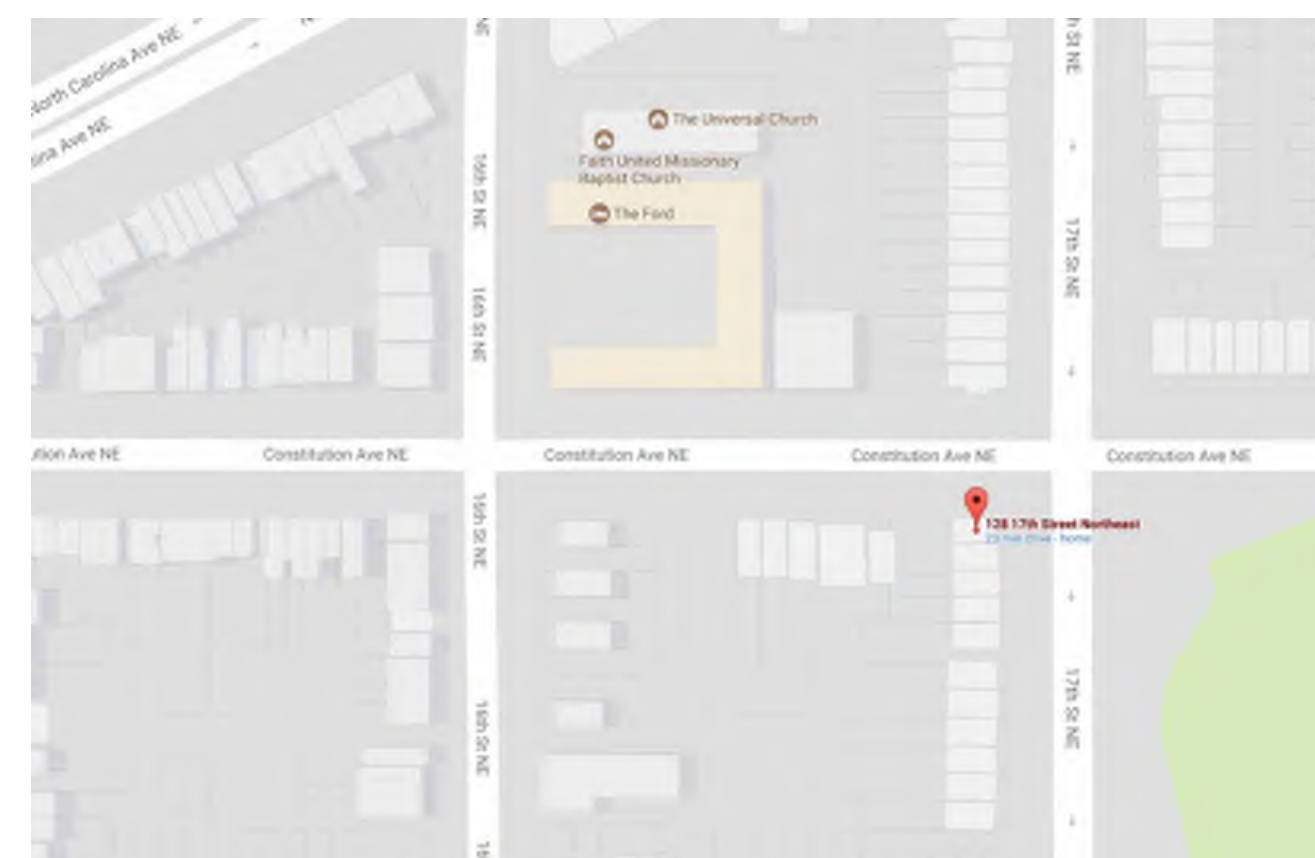


128 17TH STREET N.E.
WASHINGTON, D.C. 20002

EAST CAPITAL HILL HOUSE ALTERATION & ADDITION

PERMIT SET
10/04/2017

AREA MAP



DRAWING INDEX

ARCHITECTURAL

DATE	SHEET	TITLE
...	...	COVER
10/04/17	GC1.1	GRAPHIC CONVENTIONS
10/04/17	GC1.2	GREEN CODE COMPLIANCE SPECIFICATIONS
10/04/17	EN-1	DCRA ENERGY VERIFICATION SHEET
10/04/17	LS1.0	BUILDING CODE DATA
10/04/17	LS1.1	LIFE SAFETY PLAN
10/04/17	AS1.0	SITE PLAN
10/04/17	D1.1	DEMOLITION PLAN
10/04/17	D1.2	DEMOLITION PLAN
10/04/17	A0.1	EXISTING FLOOR PLAN - BASEMENT & GARDEN LEVEL
10/04/17	A0.2	EXISTING FLOOR PLAN - FIRST, SECOND, & ROOF LEVEL
10/04/17	A1.1	NEW WORK PLAN - BASEMENT & GARDEN LEVEL
10/04/17	A1.2	NEW WORK PLAN - FIRST, SECOND, AND ROOF LEVEL
10/04/17	A4.1	REFLECTED CEILING PLAN
10/04/17	A12.1	DOOR & FRAME TYPES, NOTES, AND SCHEDULE
10/04/17	A12.2	DOOR HEADER, JAMB, AND THRESHOLD DETAIL
10/04/17	A13.1	EXTERIOR ELEVATIONS - EXISTING CONDITION
10/04/17	A13.2	EXTERIOR ELEVATIONS - EXISTING CONDITION
10/04/17	A13.3	EXTERIOR ELEVATIONS - DEMOLITION
10/04/17	A13.4	EXTERIOR ELEVATIONS - NEW WORK
10/04/17	A13.6	EXTERIOR ELEVATIONS - NEW WORK
10/04/17	A13.6	INTERIOR ELEVATIONS
10/04/17	A14.1	WALL DETAILS & PARTITION TYPES
10/04/17	A14.2	SECTIONS
10/04/17	A14.3	BUILDING SECTION

MECHANICAL

DATE	SHEET	TITLE
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PLUMBING

DATE	SHEET	TITLE
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STRUCTURAL

DATE	SHEET	TITLE
10/04/17	S001	STRUCTURAL NOTES & DETAILS
10/04/17	S100	EXISTING STRUCTURAL PLANS
10/04/17	S101	PROPOSED BASEMENT & FIRST FLOOR PLANS
10/04/17	S102	PROPOSED SECOND & ROOF FRAMING PLANS
10/04/17	S200	BUILDING SECTION
10/04/17	S201	STRUCTURAL DETAILS

ELECTRICAL

DATE	SHEET	TITLE
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RELEASES

DATE	DESCRIPTION
10/04/17	PERMIT SET

OWNER

20 / 20 DESIGN & CONSTRUCTION
9525 GEORGIA AVE.,
SUITE 203 A
SILVER SPRING, MD 20910
Tel: (417) 434-2191

ARCHITECT

20 / 20 DESIGN & CONSTRUCTION
9525 GEORGIA AVE.,
SUITE 203 A
SILVER SPRING, MD 20910
Tel: (417) 434-2191

M.E.P. ENGINEER

STRUCTURAL ENGINEER

DENABABA ENGINEERING CONSULTANT, LLC
11803 EDMOND WOODS WAY
BOWIE, MD 20721
Tel: (301) 262-6820

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMS ARE FROM FINISHED FACE, UON.
- CONTRACTOR WILL SUBMIT SPRINKLER DESIGN & HYDRAULIC CALCULATIONS BY LICENSED P.E..
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT, TENANT, REPRESENTATIVE & BUILDING STAFF IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- MEANS & METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL BRACING/SHORING BY CONTRACTOR SHALL BE CERTIFIED BY LICENSED STRUCTURAL ENGINEER.
- FURNITURE & EQUIPMENT TO BE FURNISHED AND INSTALLED BY OWNER, U.N.O..
- TOILET AND PREP AREAS TO USE WATER-RESISTANT G.W.B..
- CONTRACTOR TO SUPPLY AND INSTALL ALL REQUIRED WATER & DRAIN LINES TO EQUIPMENT.
- CONTRACTOR TO PROVIDE ALL REQ. WALL BLOCKING, FASTENERS, & OVERHEAD UNISTRUT SUPPORT TO INSTALL ALL WALL/CEILING MOUNTED EQUIPMENT, FIXTURES, AND SHELVING, U.N.O..
- PLUMBER TO COMPLETELY INSTALL ALL HAND SINKS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FINISH SCHEDULE & MILLWORK DETAILS.
- ALL ROUGH INS & FINAL CONNECTIONS WILL BE DONE BY GENERAL CONTRACTOR, U.N.O..
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS TO UNDERSTAND THE COMPLETE SCOPE OF WORK PRIOR TO THE START OF WORK. A COMPLETE & UP TO DATE SET OF PLANS AS APPROVED BY THE LOCAL JURISDICTION IS TO BE MAINTAINED AT THE JOB SITE FOR REVIEW AND USE AT ALL TIMES.
- FLOOR, WALL & CEILING FINISHES SHALL EXTEND OVER, UNDER, OR BEHIND, ANY ITEM OF EQUIPMENT, FURNITURE, ETC., AS INDICATED IN THE DRAWINGS.
- COORDINATE LOCATION OF CEILING DIFFUSERS, LIGHT FIXTURES, SPRINKLER HEAD, MECH. DUCTS, SO AS NOT TO INTERFERE WITH EACH OTHER. NOTIFY ARCHITECT IF CONFLICTS REQUIRE THE RELOCATION OF VISIBLE ELEMENTS IN THE FINISHED CEILING.
- REPAIR, REPLACE, AND/OR REFINISH ANY DAMAGE TO THE BUILDING'S ORIGINAL CONDITION AND ANY DAMAGE TO THE EXISTING BUILDING CAUSED BY NEW CONSTRUCTION.
- ALL MILLWORK TO CONFORM TO A.W.I. STANDARD FOR CUSTOM GRADE.
- CONTRACTOR SHALL BE EXPERIENCED AND QUALIFIED IN THE JURISDICTION OF WASHINGTON, D.C. FOR WORK AS DESCRIBED ON THE DRAWINGS, CONTRACTOR TO CONDUCT ALL OPERATIONS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR TO INITIATE AND COORDINATE WITH THE BUILDING OWNER PRIOR TO STARTING ANY WORK ON SITE.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT TENANTS, UNLESS AUTHORIZED BY OWNER AND AUTHORITIES HAVING JURISDICTION. CONTRACTOR IS RESPONSIBLE FOR IDENTIFICATION, REMOVAL, RELOCATION, AND PROTECTION OF EXISTING UTILITY LINES AS REQUIRED TO ACCOMMODATE PROPOSED SCOPE OF WORK AS DESCRIBED ON DRAWINGS.
- PROTECT PORTION OF THE BUILDING TO REMAIN AND ALL NEW WORK FROM WEATHER AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- CLEAN EXISTING SITE DAILY TO PROTECT WORKERS PEDESTRIANS REQUIRING ACCESS TO THE SITE.
- CONSTRUCTION SHALL AT NO TIME RESTRICT ACCESS TO THE ADJACENT TENANTS OR THE COMMON SERVICE AREAS, INCLUDING ALLEYS.
- UNDERPINNING WORK SHALL BE PERFORMED ONLY BY A SPECIALTY CONTRACTOR LICENSED AND INSURED IN WASHINGTON, D.C. WITH MIN. OF 5 YEARS OF CONTINUOUS EXPERIENCE IN THIS TYPE OF WORK AND UNDER SIMILAR CONDITIONS. PRIME CONTRACTOR TO BE LICENSED, INSURED, AND BONDED IN WASHINGTON, D.C.

ABBREVIATIONS

ABV	ABOVE	MISC	MISCELLANEOUS
ADA	AMERICANS WITH DISABILITIES ACT (ANSI A117.1)	MO	MASONRY OPENING
ADJ	ADJUSTABLE	MTD	MOUNTED
AFF	ABOVE FINISHED FLOOR	NO	NUMBER
ALUM	ALUMINUM	NOM	NOMINAL
ANOD	ANODIZED	NS	NURSE'S STATION
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	O	OXYGEN
BS	BACK SPLASH	OC	ON CENTER
CCT	CUBICLE CURTAIN TRACK	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
CF/CI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	OF/OI	OWNER FURNISHED / OWNER INSTALLED
CF/OI	CONTRACTOR FURNISHED / OWNER INSTALLED	OFC	OFFICE
CG	CORNER GUARD	OPP	OPPOSITE HAND
CH	COAT HOOK	PART	PARTITION
CJ	CONSTRUCTION JOINT	PLAM	PLASTIC LAMINATE
CLG	CEILING	PM	PICTURE MOLDING
CM	CROWN MOLDING	PNL	PANEL
COL	COLUMN	PP	PUSH PLATE
COMM	COMMUNICATION	PR	PAIR
CONC	CONCRETE	PTD	PAPER TOWEL DISPENSER
CONS	CONSULTATION	PTF	PAINTED TRIM FINISH
CONT	CONTINUOUS	PIF	PAINTED WALL FINISH
CORR	CORRIDOR	PWF	PAINTED WALL FINISH
CPT	CARPET	RD	ROOF DRAIN
CR	CARD READER	REC	RECESSED
CS	CLEAN SUPPLY	REQ'D	REQUIRED
CT	COUNTERTOP	REV	REVISED
DBL	DOUBLE	RM	ROOM
DR	DRESSING ROOM	RO	ROUGH OPENING
DRP	DECORATIVE RESIN PANEL	RS	REDUCER STRIP
EJ	EXPANSION JOINT	SCWD	SOLID CORE WOOD DOOR
EL	ELEVATION	SD	SOAP DISPENSER
ELEC	ELECTRICAL	SDT	STATIC DISSIPATIVE TILE
ELEV	ELEVATOR	SF	SQUARE FEET
EMR	ELEVATOR MACHINE ROOM	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFY, SPECIFICATION
EQP	EQUIPMENT	SS	SOLID SURFACE
ETR	EXISTING TO REMAIN	SST	STAINLESS STEEL
EX	EXISTING	STL	STEEL
FE	FIRE EXTINGUISHER	STO	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FOR	FLOOR GROUT	SU	SOILED UTILITY
FIN	FINISH	SUSP	SUSPENDED
FLR	FLOOR	SVB	SHEET VINYL BASE
FR	FIRE RETARDANT	SVF	SHEET VINYL FLOOR
FRT	FIRE RETARDANT TREATED	T/O	TOP OF
GB	GRAB BAR	TB	TILE BASE
GL	GLASS	TELE	TELEPHONE
GR	GROMMET	TF	TILE FLOOR
GWB	GYPSUM WALL BOARD	TG	TEMPERED GLASS
HC	HANDICAP	TOIL	TOILET
HGT	HEIGHT	TS	THERMOSTAT
HM	HOLLOW METAL	TYP	TYPICAL
HR	HOUR	UL	UNDERWRITERS LABORATORY
INSUL	INSULATION	UNO	UNLESS NOTED OTHERWISE
JC	JANITOR'S CLOSET	V	VACUUM
KS	KNEE SPACE	VB	VINYL BASE
LAV	LAVATORY	VCB	VINYL COVE BASE
MACH	MACHINE	VCT	VINYL COMPOSITION TILE
MAX	MAXIMUM	VEST	VESTIBULE
MCB	METAL COVE BASE	VIF	VERIFY IN FIELD
MECH	MECHANICAL	VT	VINYL TILE
MED	MEDICAL	VWC	VINYL WALL COVERING
MEP	MECHANICAL/ELECTRICAL/PLUMBING	WC	WATER CLOSET
MIN	MINIMUM	WGR	WALL GROUT
		WP	WALL PROTECTION
		WPS	WALL PANEL SYSTEM
		WT	WALL TILE

DRAWING REFERENCES

SECTION	ELEVATION	DETAIL
WALL TYPE	KEYED NOTE	REVISION CLOUD/Delta
COLUMN GRID/BUBBLE	EMERGENCY EGRESS	ROOM NUMBER
FINISH TAG	DOOR NUMBER	WINDOW TAG
EQUIPMENT TAG	CEILING HEIGHT A.F.F.	NORTH ARROW
ALIGN TAG	SPOT ELEVATION	AREA OUTSIDE SCOPE OF WORK

DRAWING SYMBOLS

WINDOW	STEEL	CONCRETE
WATER CLOSETS	DROP-IN	INTEGRAL
SINKS	UTILITY	WALL MOUNT
WALK-IN SHOWER	EXISTING DOOR	NEW DOOR
FLUORESCENT LIGHT FIXT.	FLUORESCENT LIGHT FIXT.	PATIENT EXAM LIGHT FIXT.
UNDERCABINET TASK LIGHT	RECESSED DOWNLIGHT	24" X 24" GRID/PANELS
WALL-MTD. VANITY LIGHT	SURFACE-MTD. DRUM LIGHT	24" X 24" GRID/PANELS
SUPPLY DIFFUSER	RETURN AIR GRILLE	NEW BULKHEAD
24" X 24" GRID/PANELS	24" X 24" GRID/PANELS	24" X 24" GRID/PANELS
FIRE ALARM DEVICE	NEW SUSPENDED CEILING	DEMO CEILING GRID
FIRE ALARM DEVICE	BUILDING EXIT	

LINE WORK

NEW ONE HOUR FIRE RATED PARTITION	NEW TWO HOUR FIRE RATED PARTITION
NEW SMOKE BARRIER	NEW SMOKE PARTITION
EXISTING ONE HR FIRE RTD PARTITION	EXISTING TWO HR FIRE RTD PARTITION
EXISTING SMOKE BARRIER	EXISTING SMOKE PARTITION
NEW CONSTRUCTION SHOWN DARKER	NEW INTERIOR PARTITION (TYPICAL)
EXISTING ITEMS SHOWN LIGHTER	NEW BRICK VENEER
SELECTIVE DEMO ITEMS SHOWN DASHED	NEW CMU PARTITION
GYPSUM BOARD	GYPSUM BOARD
CONCRETE	CONCRETE
INSULATION	INSULATION
WOOD FINISH	WOOD FINISH

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number

Drawing Information

GRAPHIC CONVENTIONS

Scale _____ As Noted

Date _____ EA

Drawn By _____

Checked By _____

Drawing Number GC1.1

GENERAL PROJECT DESCRIPTION

PROJECT NAME:
HOUSE NO.03 – WASHINGTON, D.C.

PROJECT ADDRESS:
17TH STREET N.E.
WASHINGTON, DC 20002

PROJECT OWNER:
20/20 DESIGN & CONSTRUCTION (EMAN AMIRIAN)

DESCRIPTION OF WORK:
COMPLETE INTERIOR RENOVATION OF THE EXISTING DWELLING 1,500 S.F., NEW ADDITION OF APPROX. 850 S.F., AND INSTALL NEW CENTRAL AIR HANDLING UNIT.

PROJECT DATA

SITE DATA:
LOT 0056
SQUARE 1083

ZONING DISTRICT:
RESIDENTIAL FLAT ZONE (RF-1)

HISTORIC DISTRICT:
NONE HISTORIC

MAXIMUM BUILDING HEIGHT:
ZR16 TITLE 11 – SUBTITLE F-303.1
ALLOWED 35'-0"
EXISTING 30'-8"
PROPOSED 30'-8"
3 STORIES

LOT OCCUPANCY:
ZR16 TITLE 11 – SUBTITLE F-304.1
ALLOWED 60%
EXISTING 38%
PROPOSED 60%

EXISTING BUILDING AREAS:

FLOOR	AREAS	EXTERIOR CANOPIES	TOTALS
G (BSMT)	380 S.F.	-	380 S.F.
1	550 S.F.	100 S.F.	650 S.F.
2	550 S.F.	-	550 S.F.

ZONING ANALYSIS

	RF-1
Dwelling Units	Maximum 2 units
Maximum Lot Occupancy (%)	60% for attached row structures and conversions.
Maximum Height (ft)	35 ft. or 40 ft. for 3 or more new one-family row dwellings built concurrently on separate record lots. Up to 40 ft. by BZA Special Exception.
Maximum Stories	3
Minimum Rear Yard (ft)	20 ft
Minimum Side Yard (ft)	None required along a side street abutting a corner lot.
Front Setback (ft)	No lesser or greater than existing set back on the same block
Parking	For one family dwellings and flats (2-unit dwellings): One (1) parking space.

EXISTING USE SEPARATION

SECOND FLOOR	USE GROUP R-3
FIRST FLOOR	USE GROUP R-3
BASEMENT	USE GROUP R-3
128 17TH STREET, N.E.	

APPLICABLE CODES:

BUILDING CODE:
INTERNATIONAL RESIDENTIAL CODE 2012 EDITION
DCMR 11 ZONING REGULATION 2013 EDITION
DCMR 12 DC CONSTRUCTION CODES SUPPLEMENT 2013 EDITION
ICC INTERNATIONAL FIRE CODE 2012 EDITION
(DCMR 12H-2013 SUPPLEMENT)
ICC INTERNATIONAL ENERGY CONSERVATION CODE 2012 EDITION
(DCMR 12I-2013 SUPPLEMENT)
ICC INTERNATIONAL GREEN CONSTRUCTION CODE 2012 EDITION
(DCMR 12K-2013 SUPPLEMENT)

ELECTRICAL CODE:
NEC – NATIONAL ELECTRICAL CODE 2011 EDITION

MECHANICAL CODE:
IMC-ICC INTERNATIONAL MECHANICAL CODE 2012 EDITION
DISTRICT OF COLUMBIA MECHANICAL CODE 2013

PLUMBING CODE:
IPC-ICC INTERNATIONAL PLUMBING CODE 2012 EDITION
DISTRICT OF COLUMBIA PLUMBING CODE 2013

DESIGN CRITERIA:

- A. USE GROUP CLASSIFICATION:**
EXISTING IBC CLASSIFICATION R-3
PROPOSED IBC CLASSIFICATION R-3
CHANGE OF OCCUPANCY NO
- B. CONSTRUCTION TYPE:**
IBC TYPE TYPE VB
- C. FIRE PROTECTION SYSTEM:**
NOT REQUIRED
- D. EXISTING BUILDING CODE COMPLIANCE METHOD**
INTERNATIONAL EXISTING BUILDING CODE – LEVEL 3 ALTERATION (2012 EDITION)

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number

Drawing Information

BUILDING CODE DATA

Scale _____ NTS
Date _____
Drawn By _____ EA
Checked By _____

Drawing Number

LS1.0

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number

Drawing Information

SITE PLAN

Scale 1/8"=1'-0"

Date

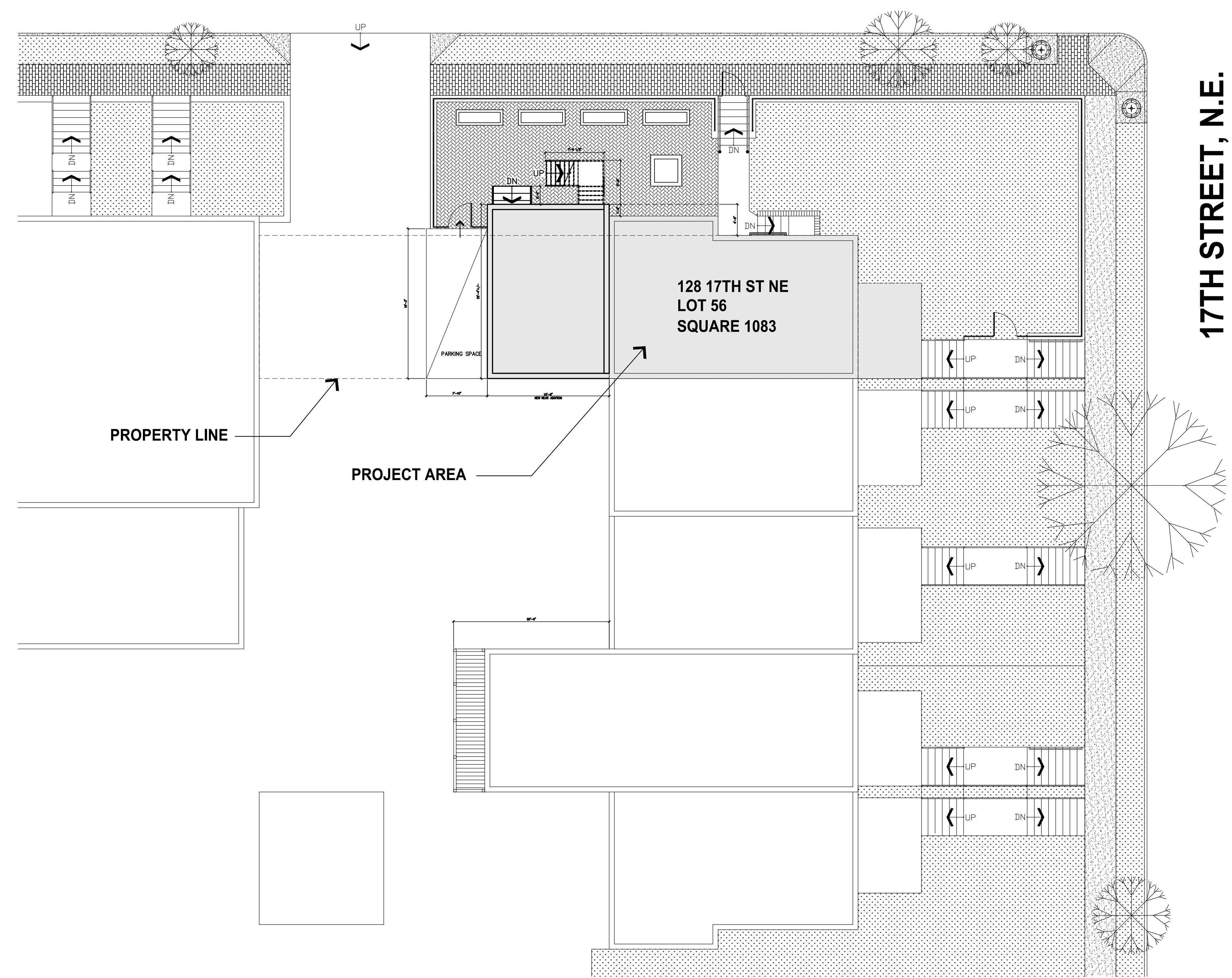
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Checked By

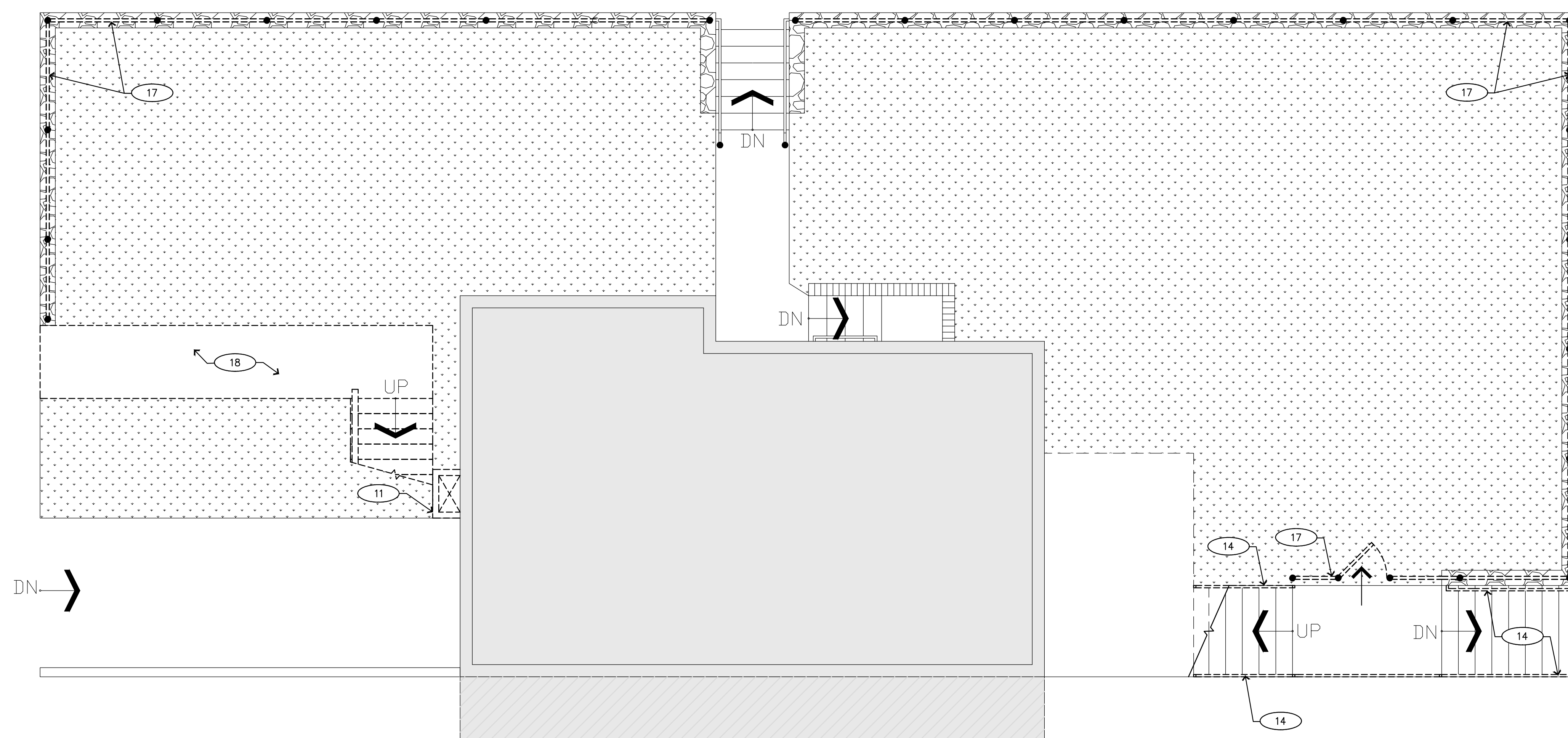
Drawing Number AS1.0

CONSTITUTION AVE., N.E.

17TH STREET, N.E.



1 **SITE PLAN**
 SCALE: 1/8"=1'-0"



2 DEMOLITION PLAN - GARDEN LEVEL
SCALE: 1/4"=1'-0"

TYPICAL DEMOLITION NOTES

COMPONENTS SHOWN AS "DASHED LINES" ON THIS DRAWING INDICATE PORTIONS OF EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.

FOR ALL ITEMS SCHEDULED FOR DEMOLITION, COORDINATE WITH OWNER'S REP. REGARDING WHICH ITEMS ARE TO BE PROTECTED, SALVAGED, AND/OR DISCARDED.

SCHEDULING & SEQUENCING OF THE WORK: PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL MEET WITH THE OWNER'S REP. & A REPRESENTATIVE OF THE "END USER" TO DISCUSS & FORMULATE A SCHEDULING & SEQUENCING OF THE WORK PLAN IN AN EFFORT TO MINIMIZE THE DISRUPTION OF ONGOING SERVICES & ACTIVITIES WITHIN THE AREAS OF THE WORK. BEFORE COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF SCHEDULING & SEQUENCING INDICATING TARGET DATES FOR CERTAIN PHASES ON THE WORK & ASSOCIATED SELECTIVE DEMOLITION PROVIDE COPIES TO OWNERS REP., END USER & ARCHITECT.

ELECTRICAL COMPONENTS: COORDINATE REMOVAL OF ELECTRICAL SYSTEMS AND COMPONENTS WITH ELECTRICAL DRAWINGS.

MECHANICAL COMPONENTS: COORDINATE REMOVAL OF MECHANICAL SYSTEMS AND COMPONENTS WITH MECHANICAL DRAWINGS.

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G.C. SHALL BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAR OF DEBRIS AND MAINTAINING FIRE EGRESS PATHS.

G.C. SHALL REPAIR ANY DAMAGE TO ADJACENT AND SURROUNDING FLOORS, WALLS, DOORS AND CEILINGS NOT AFFECTED BY DEMOLITION AND REINSTALLATION ACTIVITIES. SEE SPECIFICATIONS RELATING TO PROTECTION OF EXISTING WORK.

G.C. SHALL COORDINATE CLEANING REQUIREMENTS AT THE END OF EACH SHIFT AND AT THE END OF CONSTRUCTION WORK.

G.C. WILL HAVE 5 WORKING DAYS (AT THE END OF THE DEMOLITION PHASE) TO NOTIFY THE ARCHITECT IN WRITING OF ANY EXISTING CONDITIONS OR DISCREPANCIES FROM DESIGN DRAWINGS THAT WILL IMPACT THE WORK.

DEMO PLAN - KEY NOTES

D & R DEMO. AND REMOVE - DEMOLISH ITEM IDENTIFIED & REMOVE
 R & R REMOVE AND REINSTALL - REMOVE ITEM IDENTIFIED, STORE, PROTECT AND REINSTALL
 R & S REMOVE AND SALVAGE - REMOVE ITEM IDENTIFIED, STORE AT A LOCATION DIRECTED BY THE OWNER.
 P & I PROVIDE AND INSTALL.

1. D&R GYPSUM WALL
2. D&R DOOR AND HARDWARE
3. D&R SINK AND BASE
4. D&R TOILET
5. D&R FLOORING (PREP FOR NEW FLOOR)
6. D&R WINDOW
7. D&R GARAGE DOOR AND HARDWARE
8. D&R FURNACE
9. D&R WATER HEATER
10. D&R GYPSUM CEILING WHERE REQUIRED
11. D&R EXISTING BRICK CHIMNEY
12. D&R EXISTING CMU WALL. PROVIDE STRUCTURAL SUPPORT FOR THE WALL ABOVE. SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
13. D&R PORTION OF THE BRICK WALL (PREP FOR NEW DOOR)
14. D&R HANDRAIL
15. D&R PORTION OF THE GYPSUM WALL (PREP FOR NEW DOOR)
16. D&R BRICK RETAINING WALL
17. D&R EXISTING FENCING
18. D&R CONCRETE WALKWAY
19. D&R CONCRETE DRIVEWAY
20. D&R SHOWER

Revisions

No.	Description	Date

Project

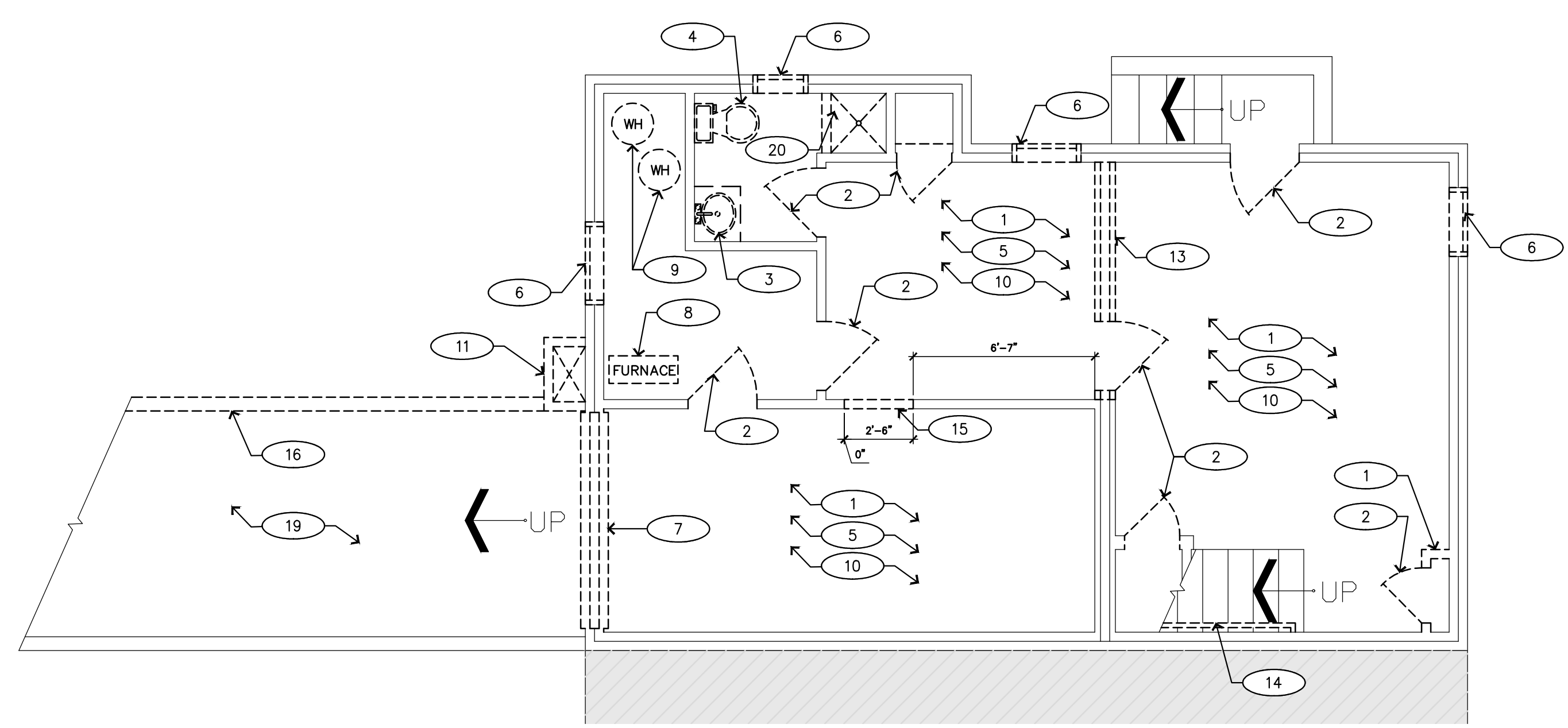
Project Number
 Drawing Information

DEMOLITION PLAN BASEMENT AND GARDEN LEVEL

Scale 1/4"=1'-0"
 Date
 Drawn By EA
 Checked By

Drawing Number **D1.1**

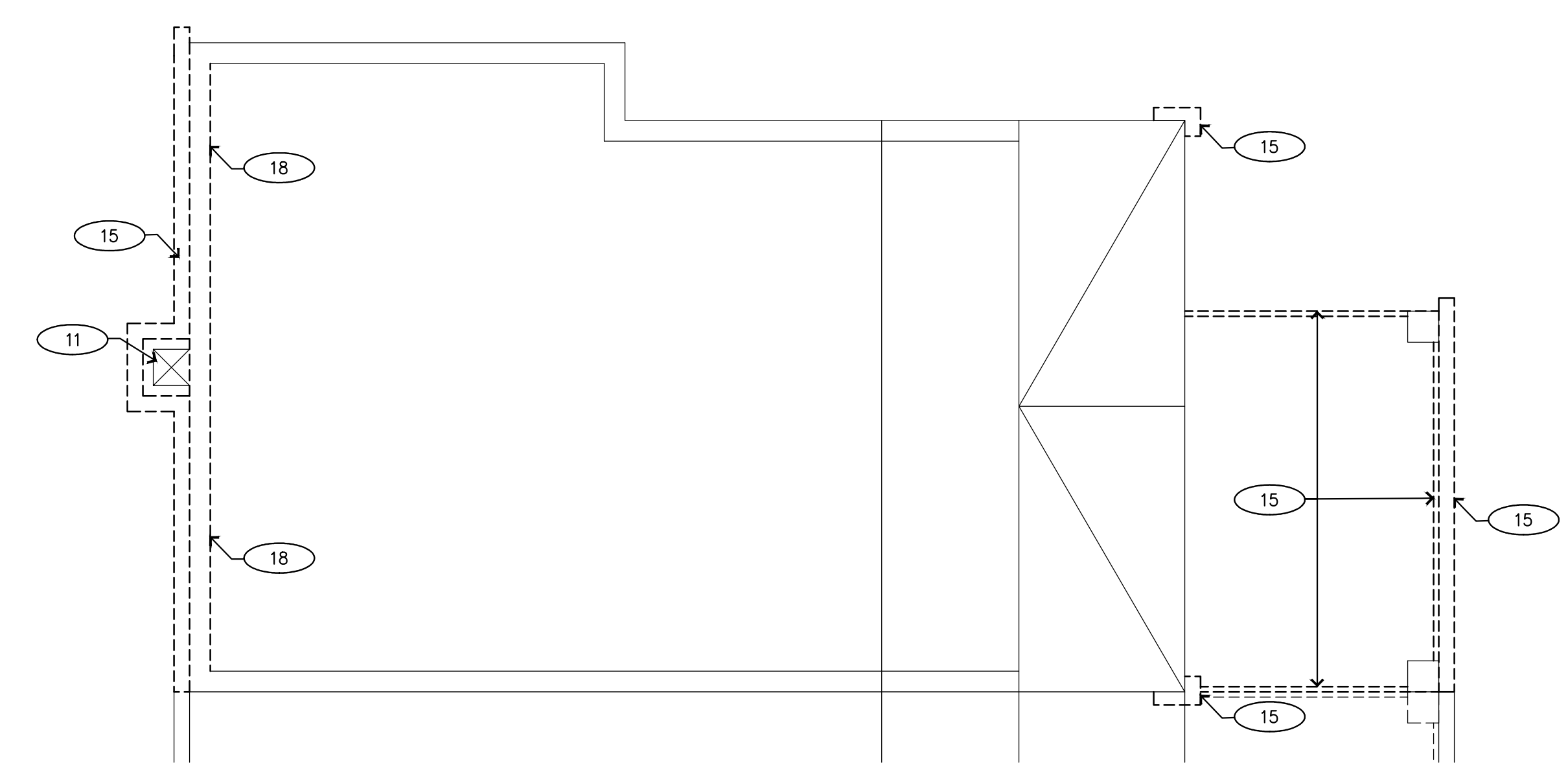
1 DEMOLITION PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"



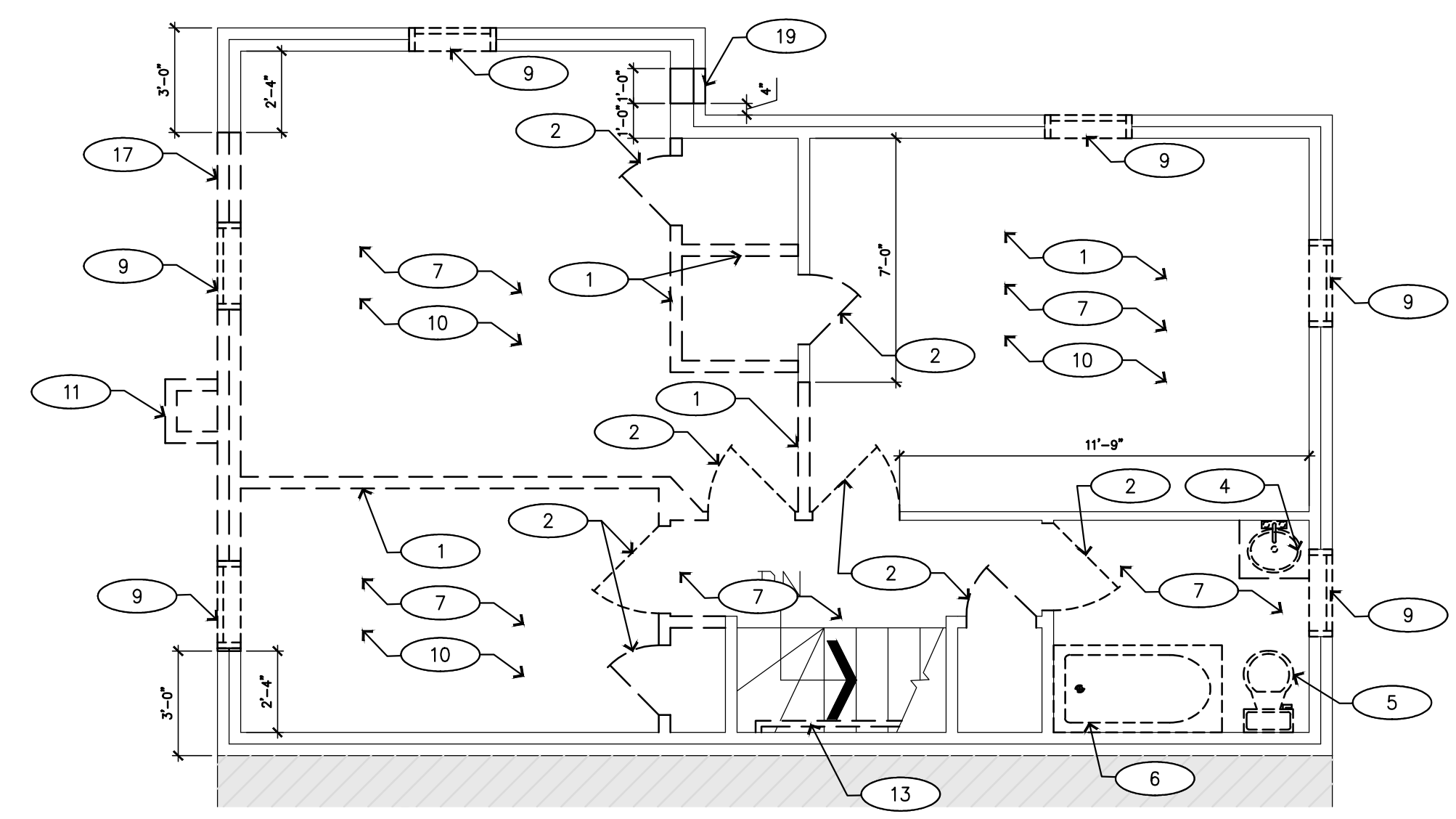
No.	Description	Date

DEMOLITION PLAN FIRST, SECOND, AND ROOF LEVEL

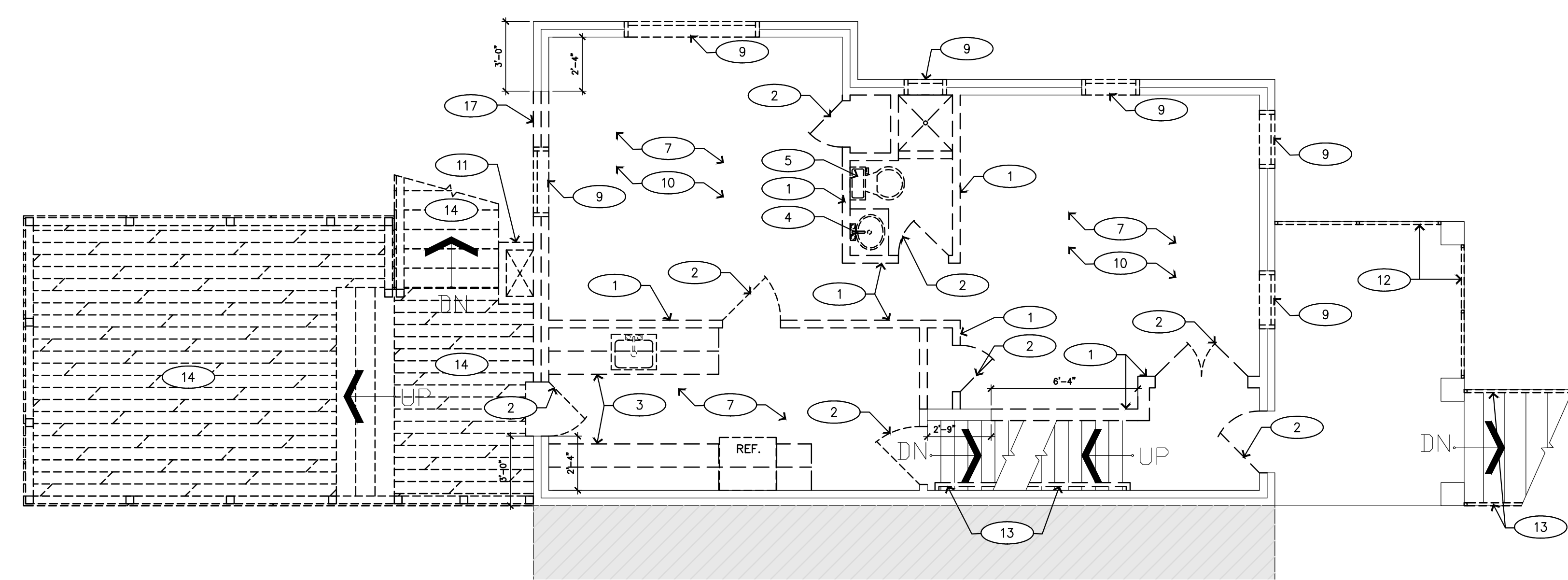
Scale 1/2"=1'-0"
Date _____
Drawn By EA
Checked By _____



3 DEMOLITION PLAN - ROOF LEVEL
SCALE: 1/4"=1'-0"



2 DEMOLITION PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 DEMOLITION PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

TYPICAL DEMOLITION NOTES

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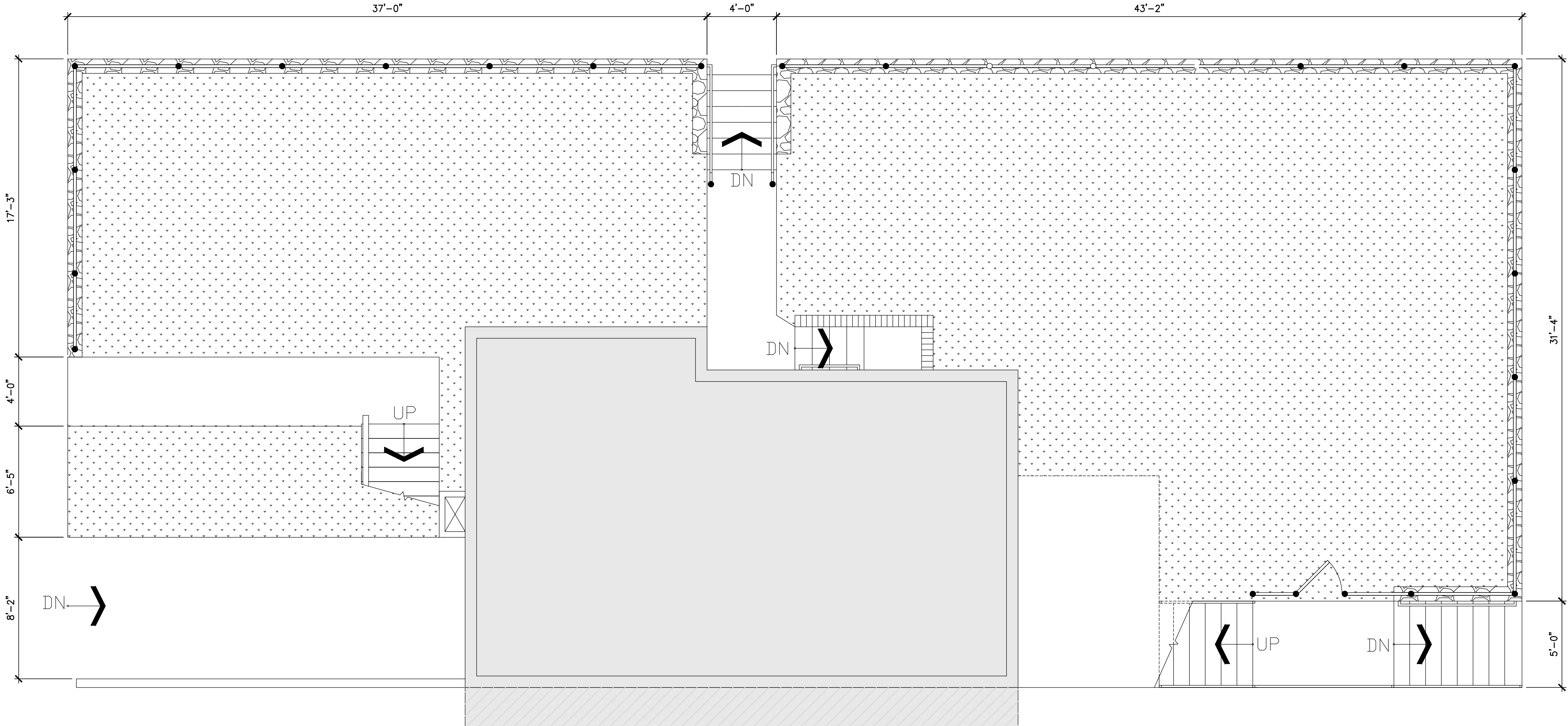
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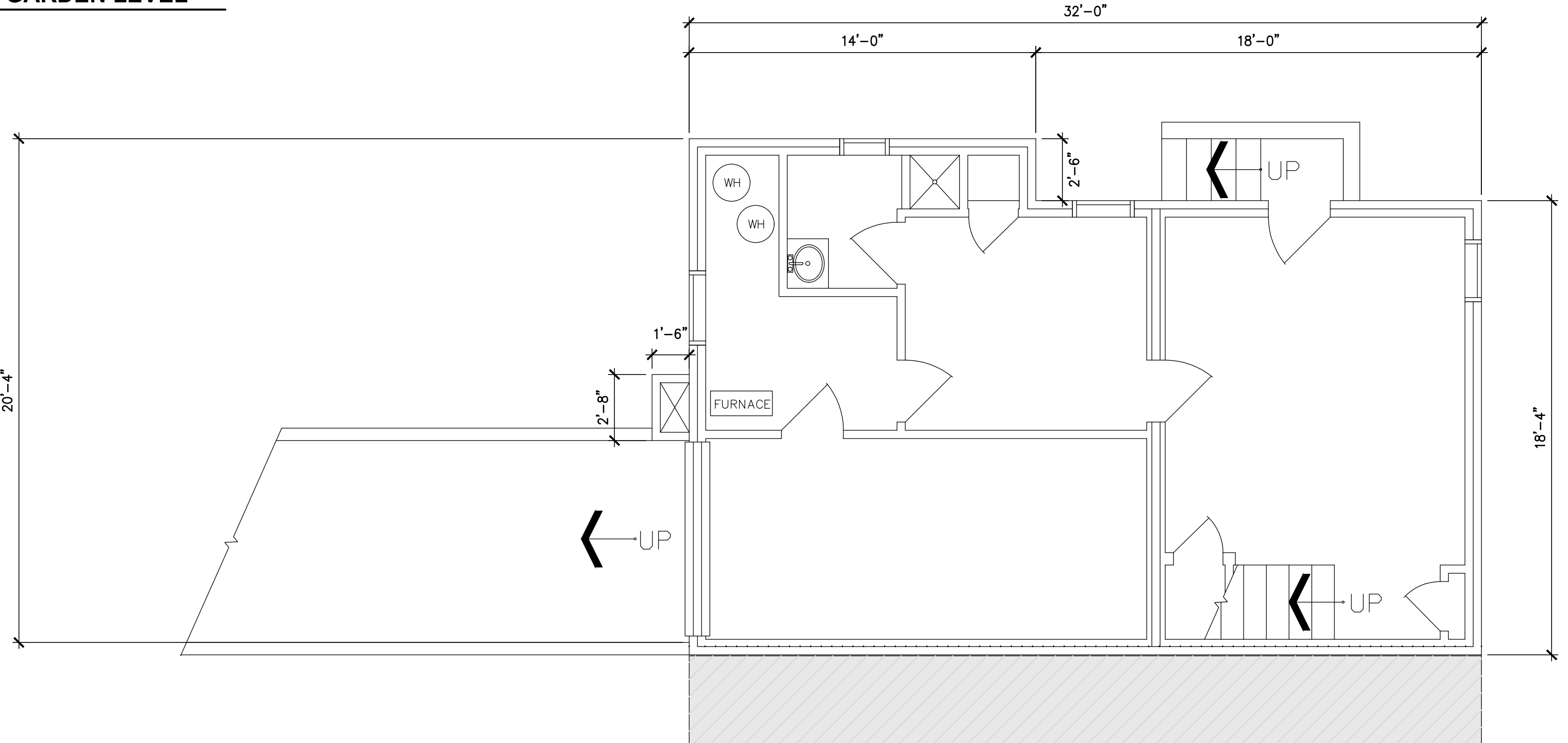
1. D&R GYPSUM WALL
2. D&R DOOR AND HARDWARE
3. D&R KITCHEN CABINETS, SINK, AND COUNTER TOP
4. D&R SINK AND BASE
5. D&R TOILET
6. D&R BATH TUB
7. D&R FLOORING (PREP FOR NEW FLOOR)
8. R&R EQUIPMENT (STOVE, REF., W/D, & ETC.)
9. D&R WINDOW
10. D&R GYPSUM CEILING WHERE REQUIRED
11. D&R EXISTING BRICK CHIMNEY
12. D&R RAILING
13. D&R HAND RAIL
14. D&R OUTDOOR DECK AND SUPPORT DOWN TO THE GRADE
15. D&R ROOF GUTTERS
16. D&R LOWER ROOF ABOVE THE FRONT PORCH
17. D&R PORTION OF THE BRICK WALL (TO THE SLAB) AND ALL WALL ASSEMBLIES
18. D&R ROOF CURB AND MEMBRANE
19. D&R PORTION OF THE BRICK WALL AND PREP FOR NEW WINDOW. 12 INCH ROUGH OPENNING. PROVIDE STRUCTURAL SUPPORT FOR THE BRICK

CONSTITUTION AVE., N.E.

17TH STREET, N.E.



2 EXISTING PLAN - GARDEN LEVEL
SCALE: 1/4"=1'-0"



1 EXISTING PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number
Drawing Information

EXISTING PLAN
BASEMENT AND GARDEN
LEVEL

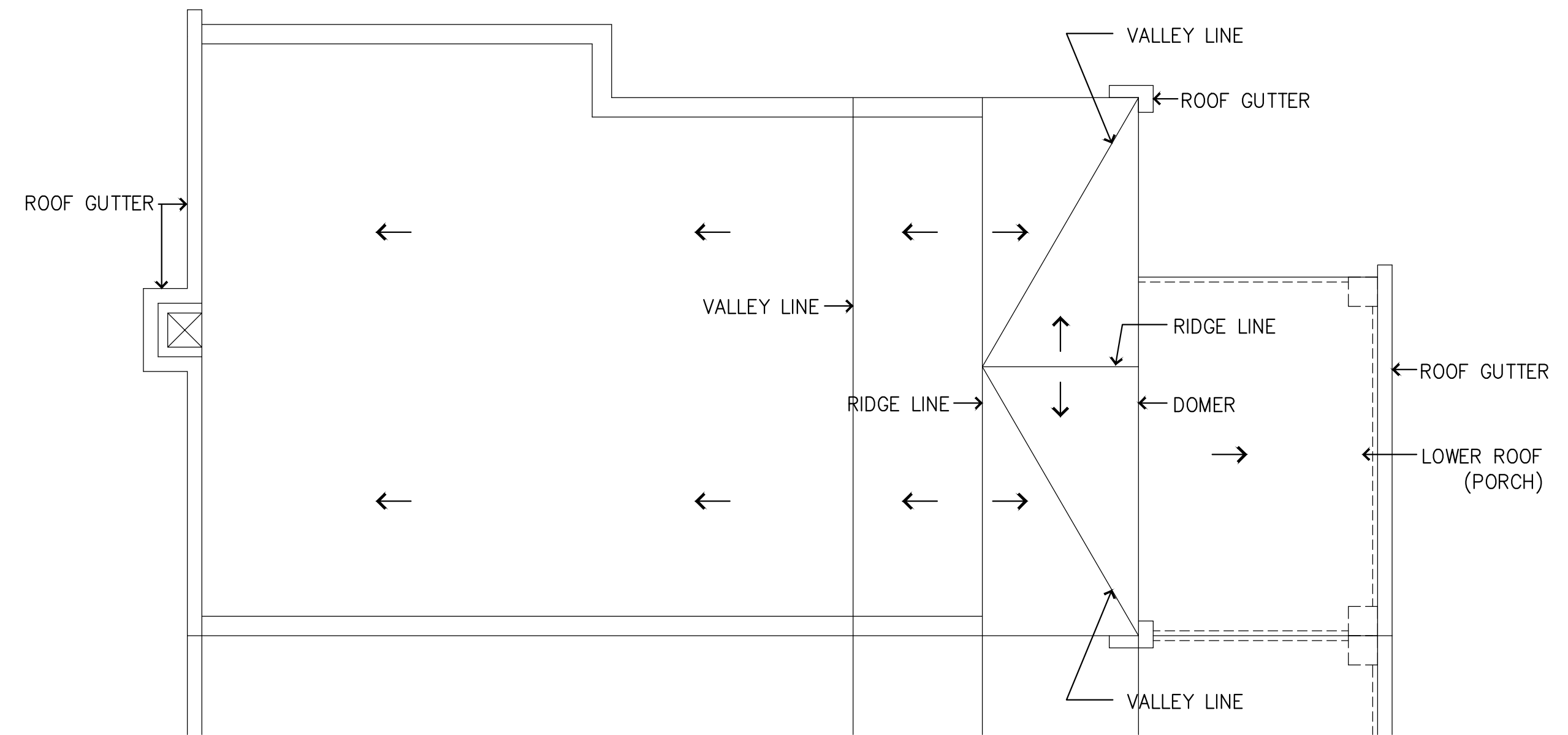
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Date
Drawn By EA
Checked By

Drawing Number A0.1

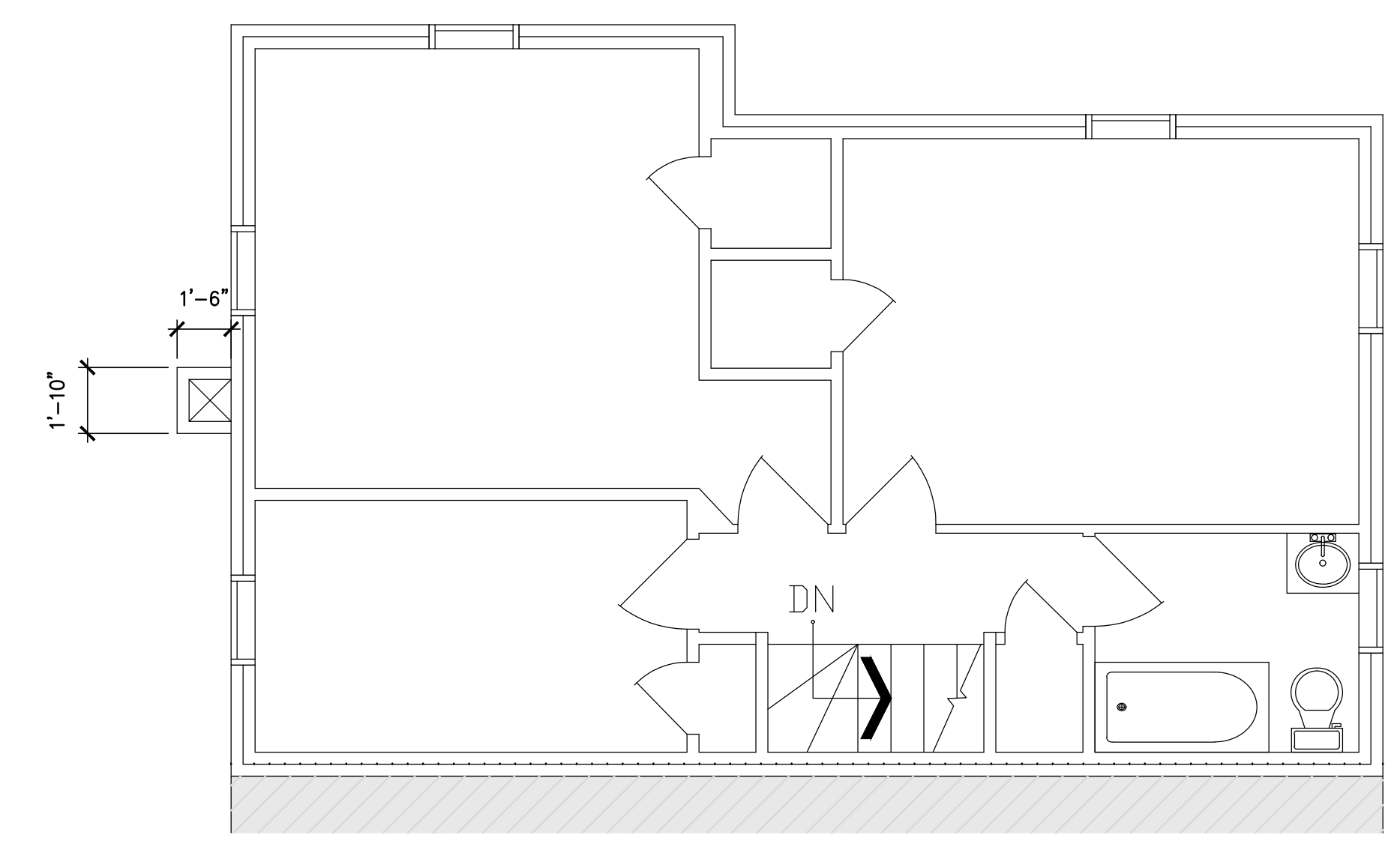
No.	Description	Date

EXISTING PLAN
FIRST, SECOND, AND
ROOF LEVEL

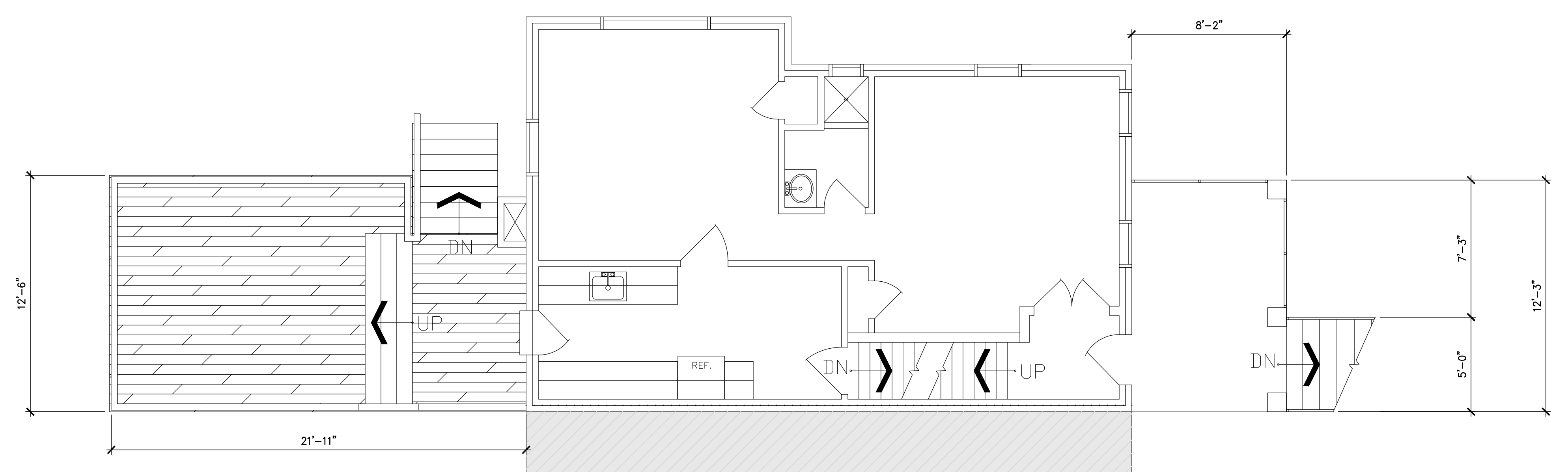
Scale 1/4"=1'-0"
 Date _____
 Drawn By EA
 Checked By _____



3 EXISTING PLAN - ROOF LEVEL
SCALE: 1/4"=1'-0"



2 EXISTING PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 EXISTING PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

No.	Description	Date

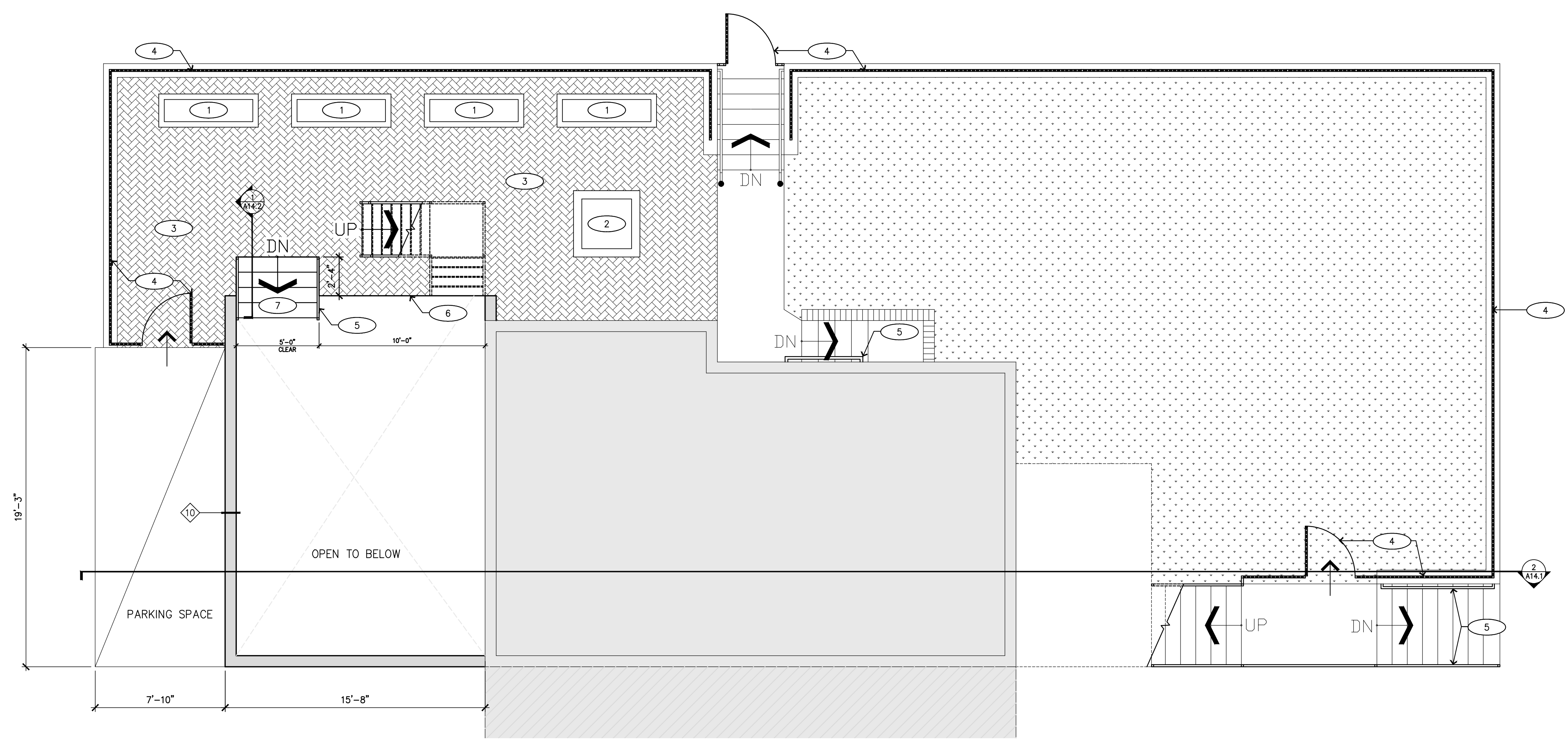
NEW WORK PLAN BASEMENT AND GARDEN LEVEL

GENERAL FLOOR PLAN NOTES

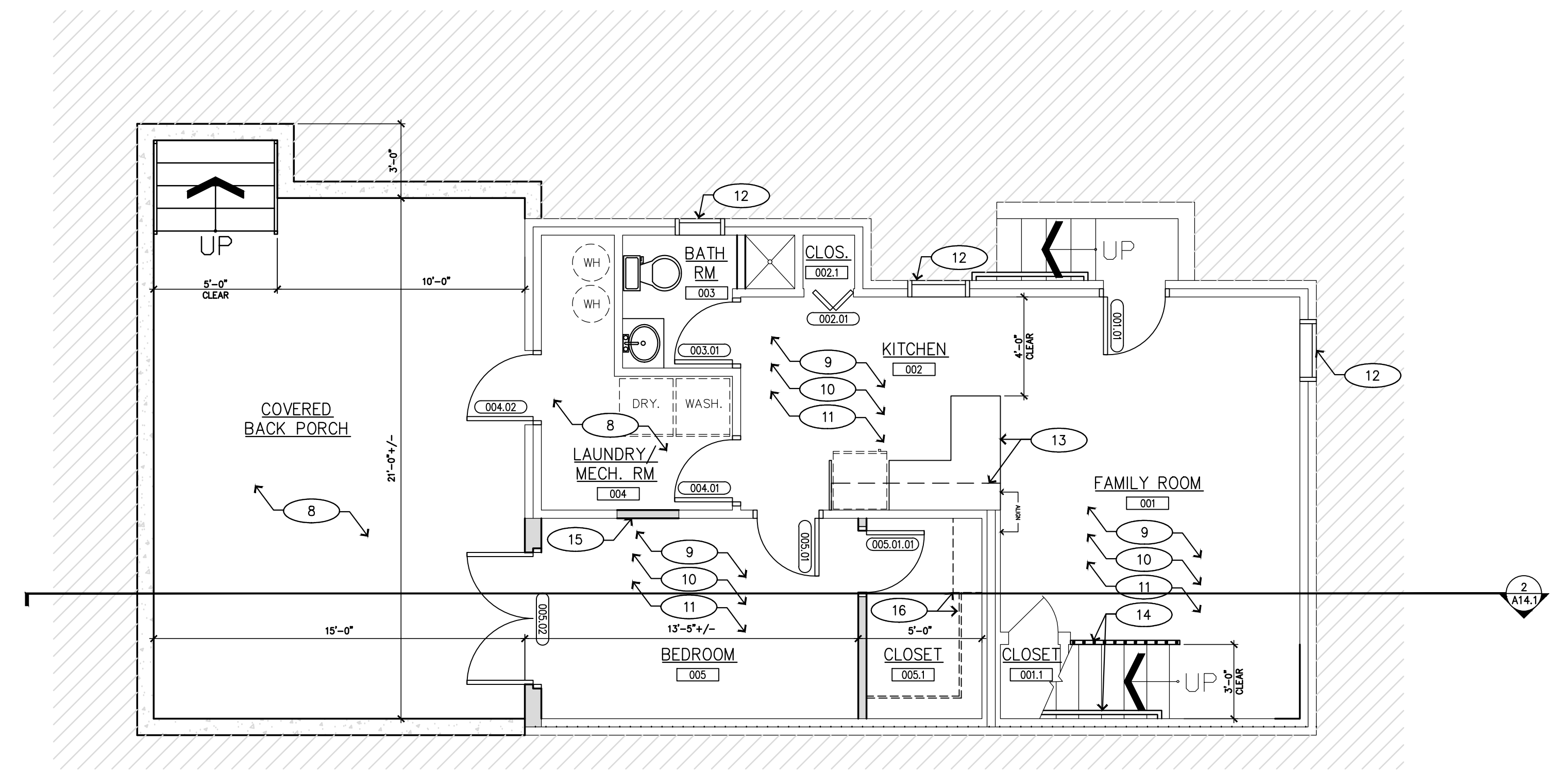
- DOOR LOCATIONS ARE NOT DIMENSIONED IF THEY ARE LOCATED 4" FROM ADJACENT WALL OR IF THEY ARE CENTERED ON THE ROOM INTO WHICH THEY OPEN.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED DUE TO CONSTRUCTION ACTIVITIES - RETURN TO ORIGINAL CONDITION.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL NEW WALLS "TYPE 1" AND ON SHEET A14.1, U.N.O.
- GPR FLOOR SLAB PRIOR TO ANY NEW SLAB PENETRATIONS.
- REMOVE AND REINSTALL CEILING IN SPACES BELOW AS REQUIRED FOR ALL NEW WORK.
- GC TO PROVIDE CHALK LINE FOR STUD PARTITION LAYOUT. REVIEW BY ARCHITECT, PRIOR TO INSTALLATION OF STUDS.

NEW WORK PLAN - KEY NOTES

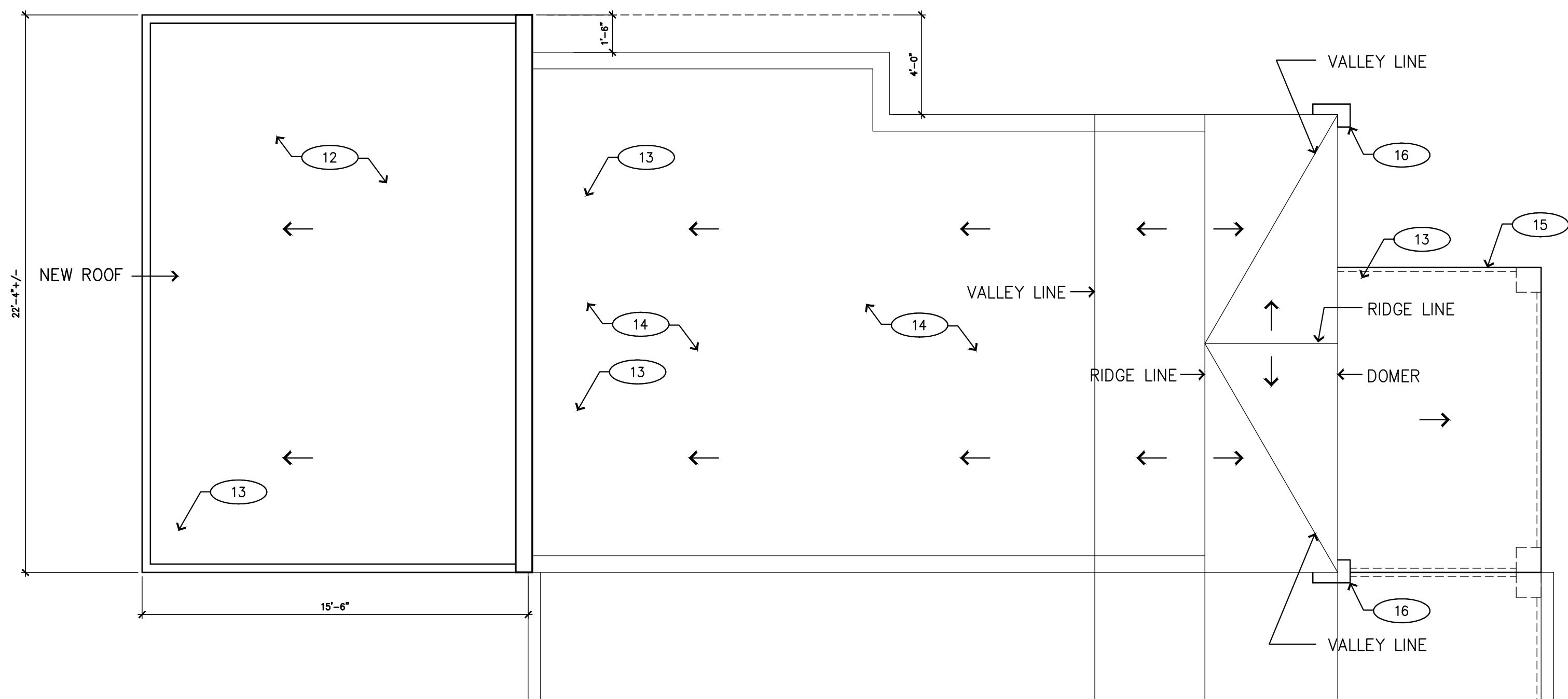
- FURNISH AND INSTALL NEW PLANTERS. SEE ELEVATION A13.6 FOR MORE INFORMATION.
- INSTALL NEW FIRE PIT. OWNER TO PROVIDE FIRE PIT
- FURNISH AND INSTALL BRICK PAVERS
- FURNISH AND INSTALL NEW CABLE RAILING/FENCING SYSTEM AND DOOR (ULTRA-TECH OR SIMILAR IN BLACK)
- FURNISH AND INSTALL NEW EXTERIOR METAL HAND RAIL (IN BLACK)
- INSTALL NEW CONCRETE PREMIER RETAINING WALL.
- INSTALL NEW CONCRETE STAIRS. (4) TOTAL.
- INSTALL NEW CONCRETE FLOOR (SOG). TROWEL FINISH.
- FURNISH AND INSTALL NEW FLOORING.
- REPAIR, PATCH, AND PAINT CEILING.
- REPAIR, PATCH, AND PAINT EXISTING GYPSUM BOARD.
- FURNISH AND INSTALL NEW ALUMINUM WINDOWS.
- FURNISH AND INSTALL NEW KITCHEN CABINETS.
- FURNISH AND INSTALL NEW INTERIOR METAL STAIR RAILING HANDRAIL (IN BLACK).
- FILL IN OPENING IN THE EXISTING WALL. SEE A14.1 FOR WALL TYPES.
- FURNISH AND INSTALL HANGER ROD



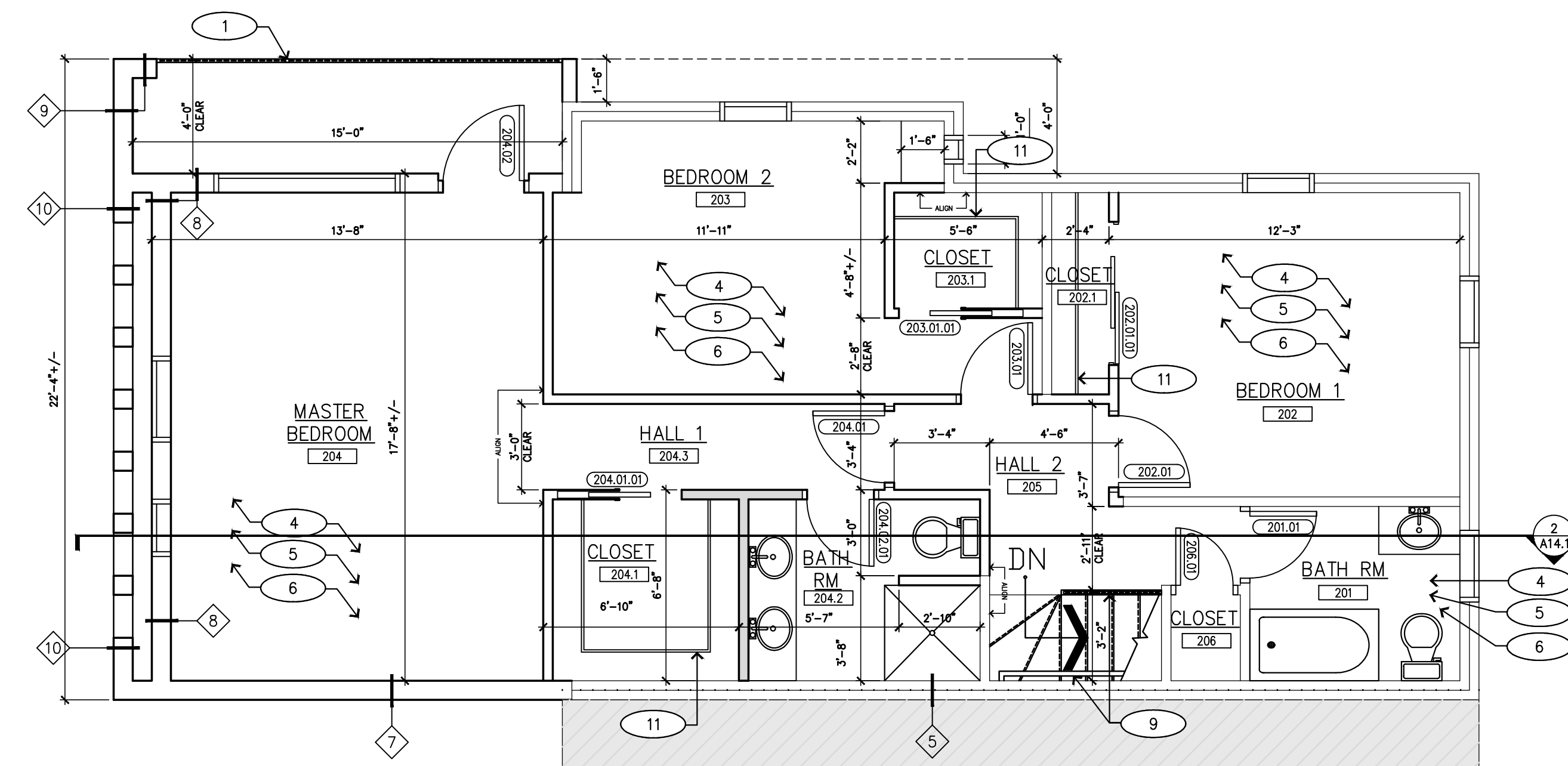
2 NEW WORK PLAN - GARDEN LEVEL
SCALE: 1/4"=1'-0"



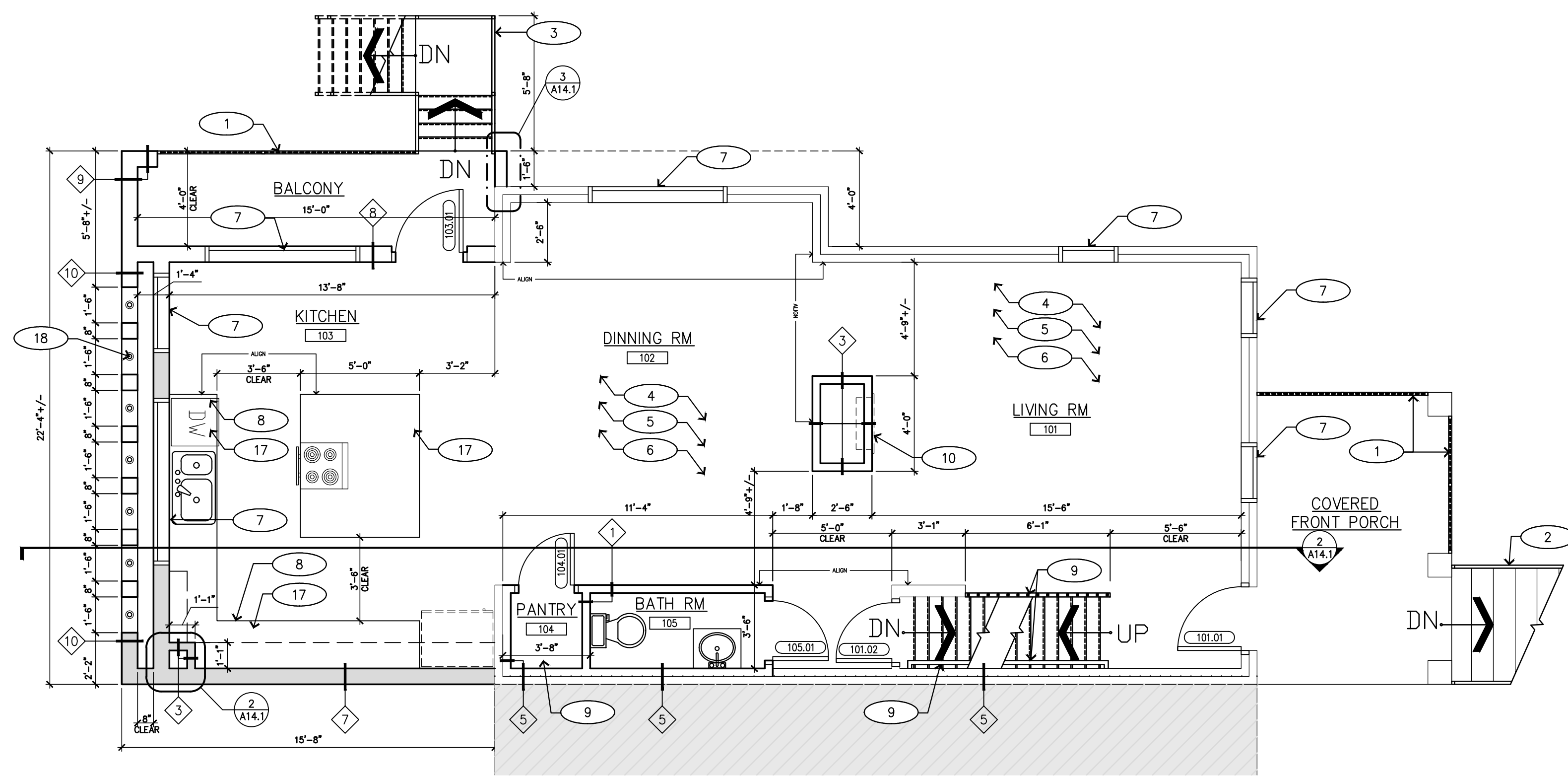
1 NEW WORK PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"



3 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



2 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



1 NEW WORK PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"

NEW WORK PLAN - KEY NOTES

- FURNISH AND INSTALL NEW OUTDOOR CABLE RAILING/FENCING SYSTEM AND DOOR (ULTRA-TECH OR SIMILAR IN BLACK)
- FURNISH AND INSTALL NEW EXTERIOR HAND RAIL (IN BLACK).
- FURNISH AND INSTALL NEW METAL STAIRS (IN BLACK)
- FURNISH AND INSTALL NEW FLOORING.
- REPAIR, PATCH, AND PAINT CEILING.
- REPAIR, PATCH, AND PAINT EXISTING GYPSUM BOARD.
- FURNISH AND INSTALL NEW WINDOWS.
- FURNISH AND INSTALL NEW KITCHEN CABINETS.
- FURNISH AND INSTALL NEW INTERIOR HANDRAIL AND RAILING SYSTEM (IN BLACK)
- FURNISH AND INSTALL NEW ELECTRIC FIREPLACE.
- FURNISH AND INSTALL HANGER ROD.
- FURNISH AND INSTALL NEW ROOF MEMBRANE.
- FURNISH AND INSTALL NEW ROOF DRAIN.
- PATCH AND REPAIR EXISTING ROOF WHERE REQUIRED.
- FURNISH AND INSTALL NEW STEEL ROOF IN FRONT PORCH.
- FURNISH AND INSTALL NEW ROOF GUTTERS.
- FURNISH AND INSTALL NEW GRANITE COUNTER TOP.
- FURNISH AND INSTALL 4" OUTDOOR LED LIGHTS.
- PROVIDE ADDITIONAL PLUMBING AND ELECTRIC FEED FOR WASHER AND DRYER.

GENERAL FLOOR PLAN NOTES

- DOOR LOCATIONS ARE NOT DIMENSIONED IF THEY ARE LOCATED 4" FROM ADJACENT WALL OR IF THEY ARE CENTERED ON THE ROOM INTO WHICH THEY OPEN.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED DUE TO CONSTRUCTION ACTIVITIES - RETURN TO ORIGINAL CONDITION.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL NEW WALLS "TYPE 1" AND ON SHEET A14.1, U.N.O.
- GPR FLOOR SLAB PRIOR TO ANY NEW SLAB PENETRATIONS.
- REMOVE AND REINSTALL CEILING IN SPACES BELOW AS REQUIRED FOR ALL NEW WORK.
- GC TO PROVIDE CHALK LINE FOR STUD PARTITION LAYOUT. REVIEW BY ARCHITECT, PRIOR TO INSTALLATION OF STUDS.

Revisions

No.	Description	Date

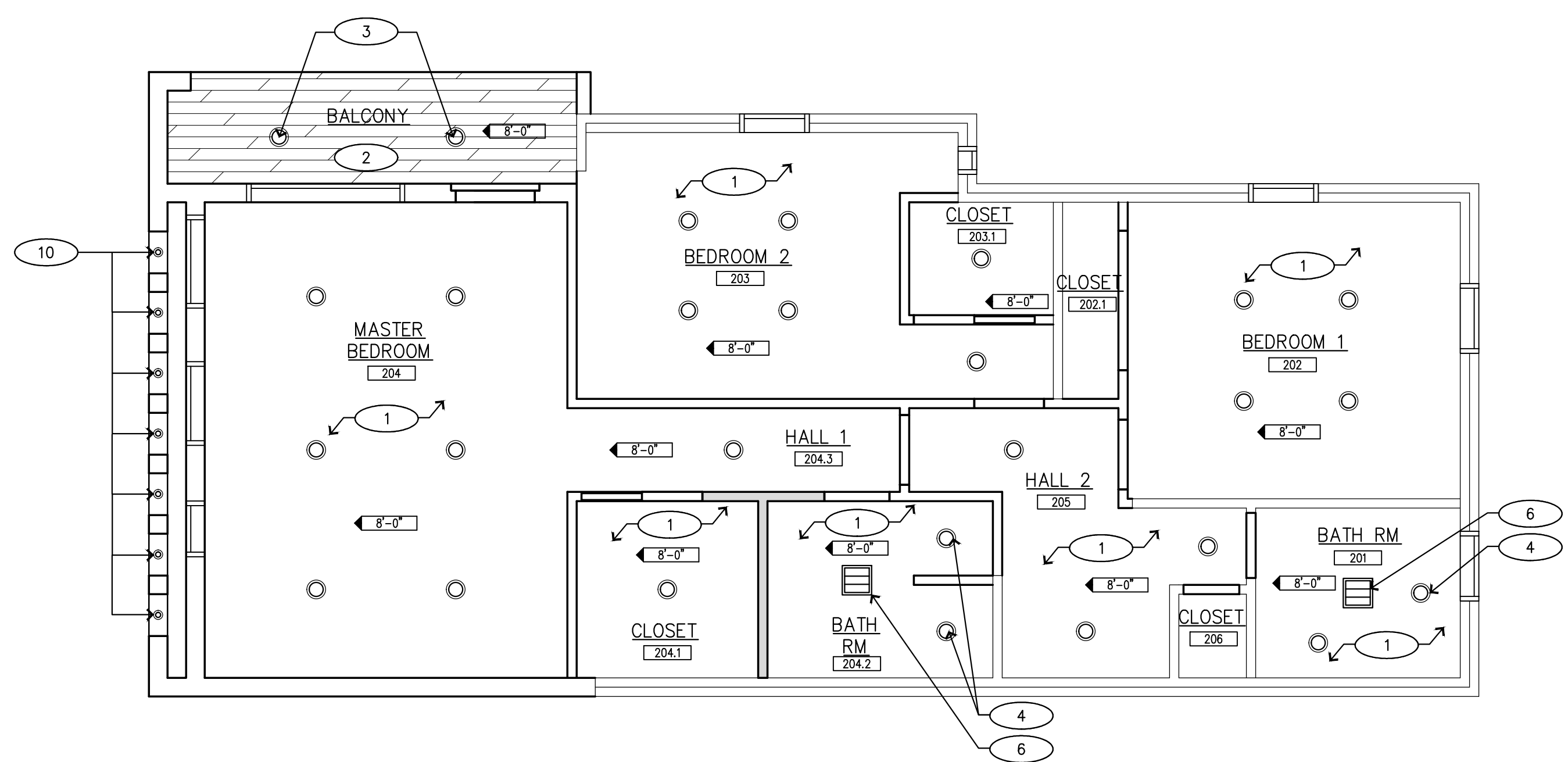
Project

Project Number
Drawing Information

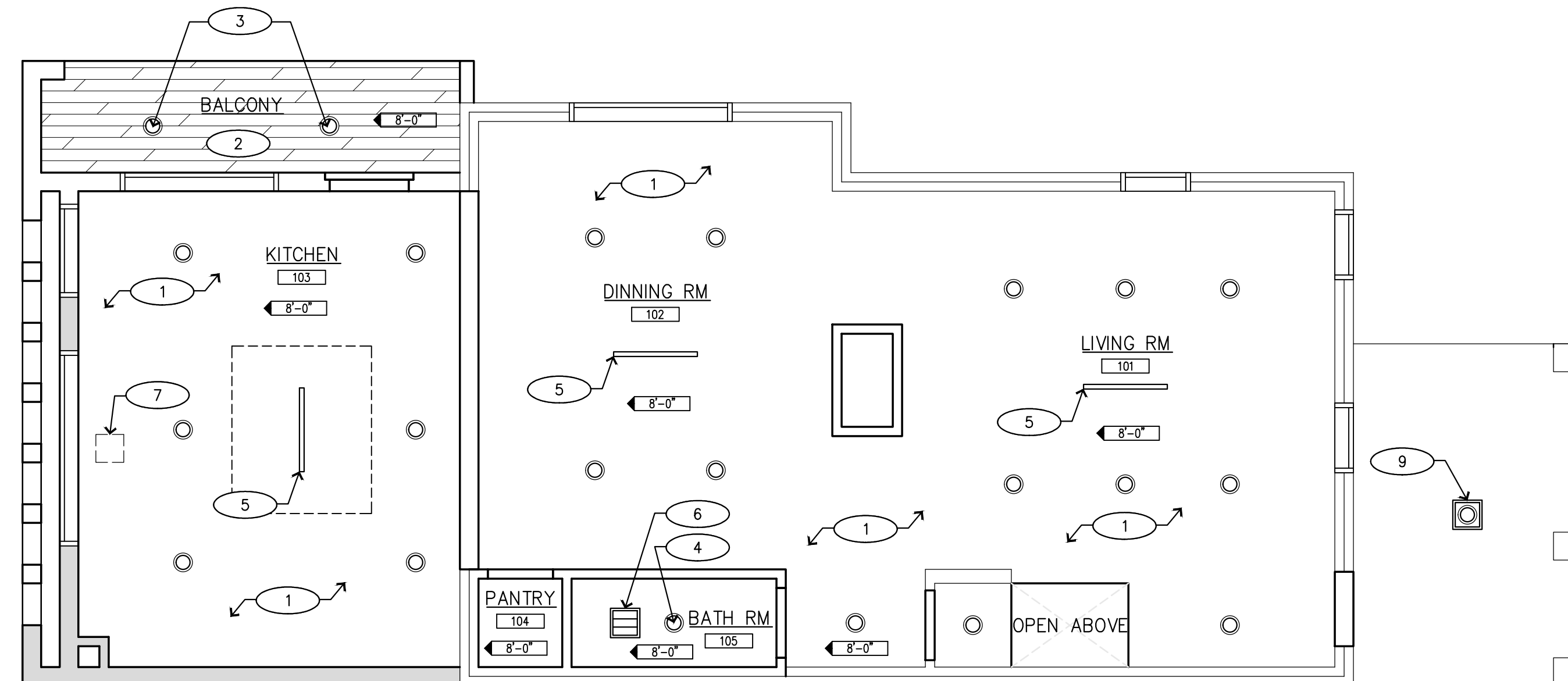
NEW WORK PLAN
FIRST, SECOND, AND
ROOF LEVEL

Scale 1/4"=1'-0"
Date
Drawn By EA
Checked By

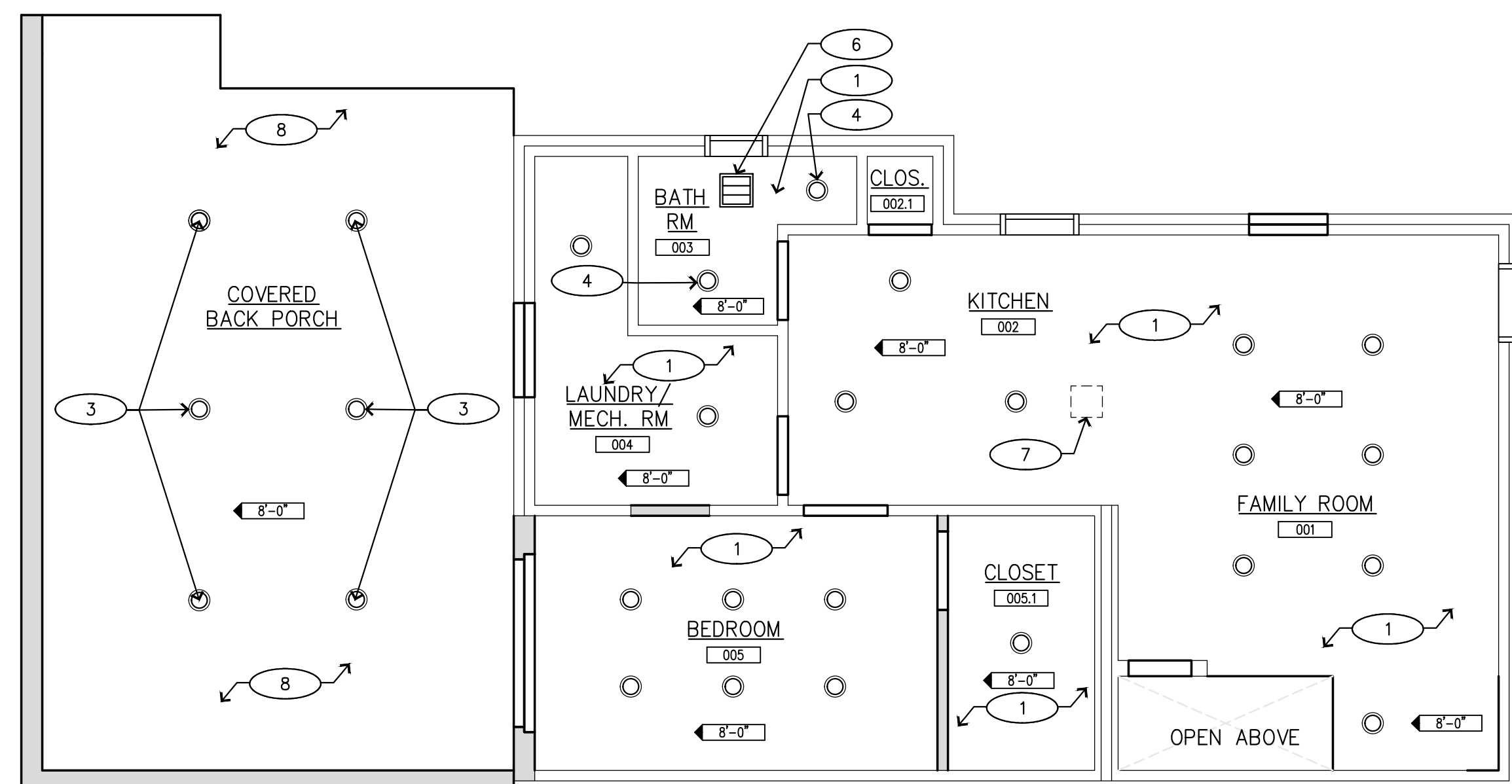
Drawing Number A1.2



3 NEW WORK PLAN - SECOND LEVEL
SCALE: 1/4"=1'-0"



2 NEW WORK PLAN - FIRST LEVEL
SCALE: 1/4"=1'-0"



1 NEW WORK PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES		NEW WORK PLAN - KEY NOTES	
1. ALL CEILINGS ARE GWB U.O.N. 2. ALL LIGHTS ARE 6 INCH LED RECESSED LIGHTS U.O.N.		1. PATCH, REPAIR, PAINT, OR REINSTALL (WHERE REQ.) GYPSUM CEILING. 2. INSTALL WOOD FINISH CEILING. MATERIAL AND COLOR TO MATCH WOOD SIDING/PANEL. 3. FURNISH AND INSTALL DAMP RATED LED RECESSED CEILING LIGHT. 4. FURNISH AND INSTALL WET RATED LED RECESSED CEILING LIGHT. 5. FURNISH AND INSTALL LED TRACK LIGHT. 6. FURNISH AND INSTALL BATHROOM FAN. 7. CUT OPENING IN THE CEILING FOR RANGE HOOD. PROVIDE ADDITIONAL SUPPORT AROUND THE OPENING FOR THE HOOD. SEE HOOD CUT SHEET FOR MORE INFORMATION. 8. STUCCO FINISH CEILING. COLOR TO MATCH EXTERIOR STUCCO WALL FINISH (WHITE). 9. FURNISH AND INSTALL DAMP RATED DECORATIVE PATIO LIGHT. 10. FURNISH AND INSTALL 4 INCH WET RATED LED LIGHT.	

Revisions		
No.	Description	Date

Project

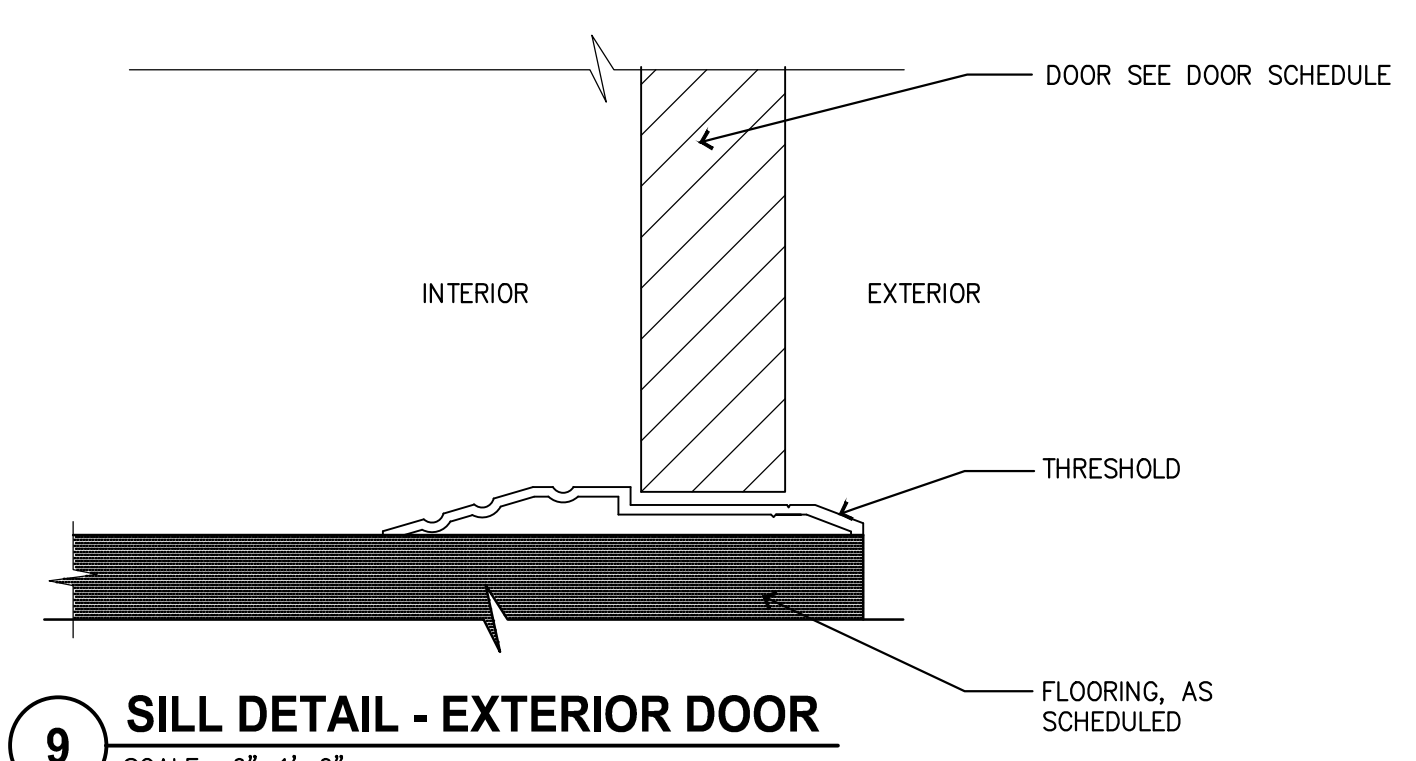
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Drawing Information

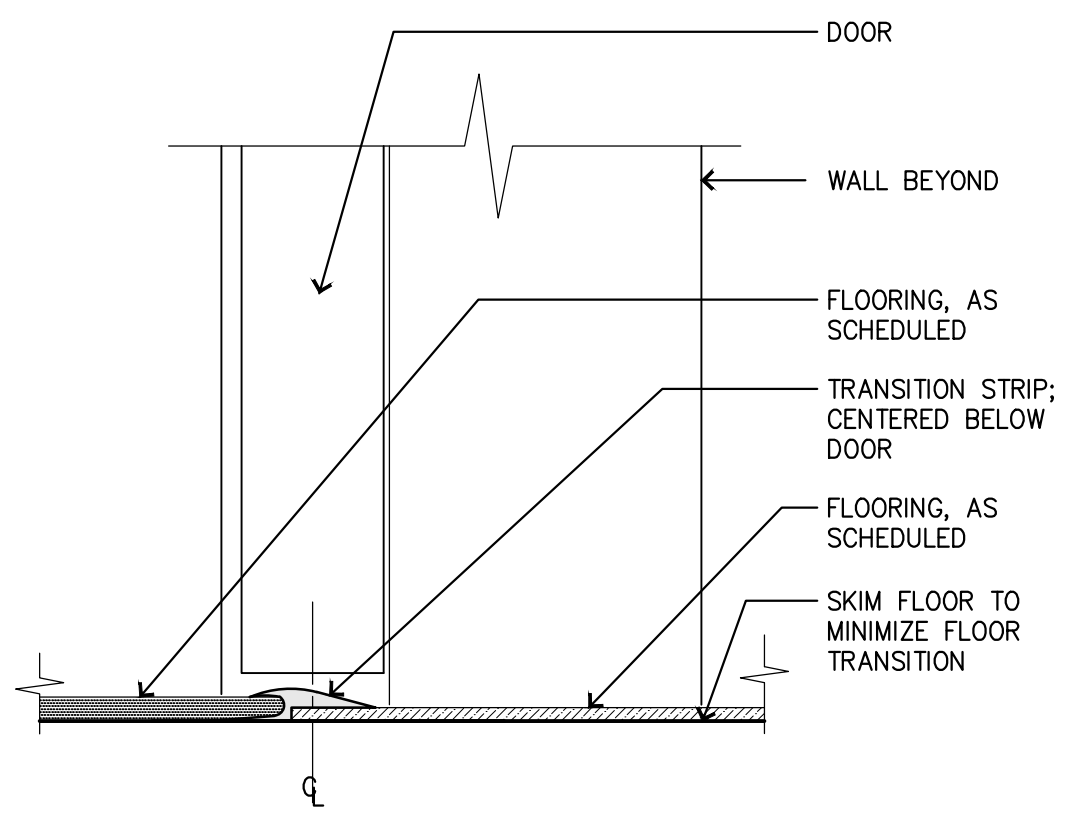
REFLECTED CEILING PLAN - BASEMENT, FIRST & SECOND FLOOR

Scale 1/4"=1'-0"
Date
Drawn By EA
Checked By

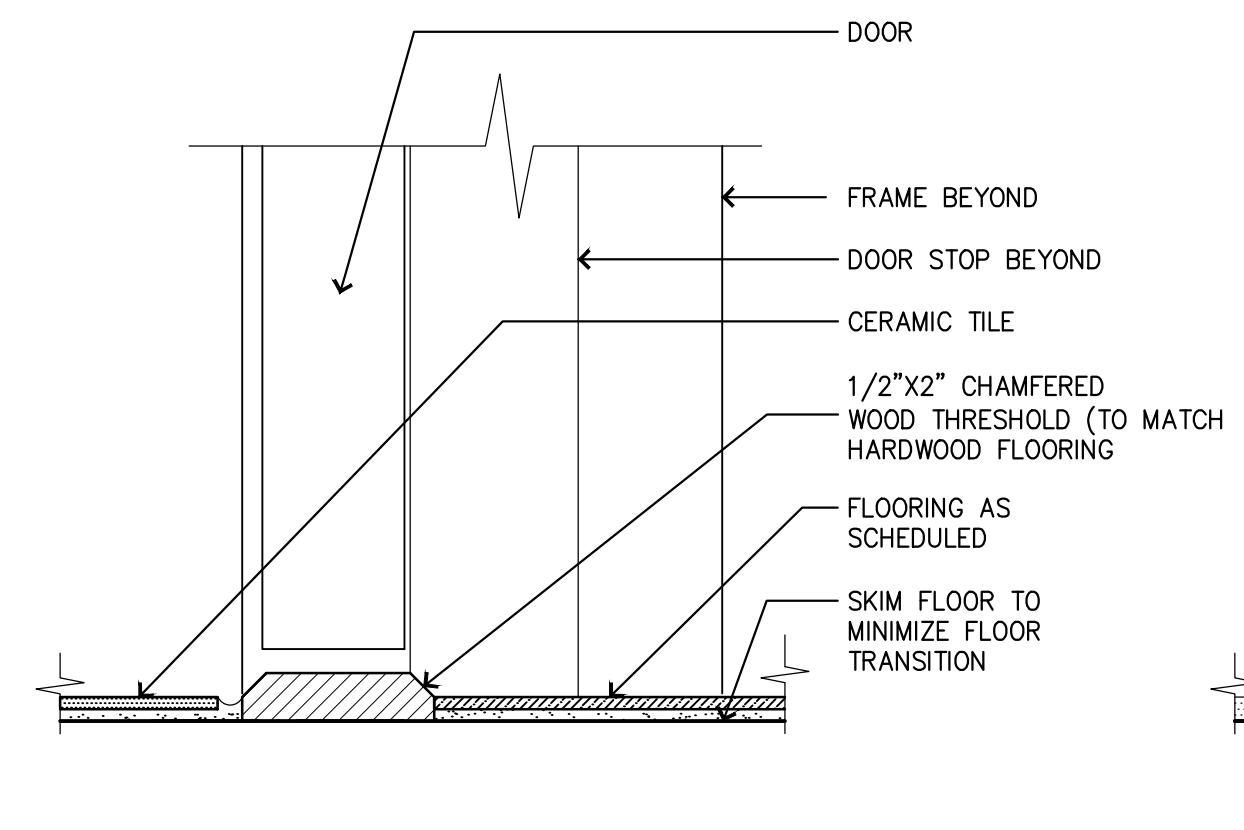
Drawing Number A4.1



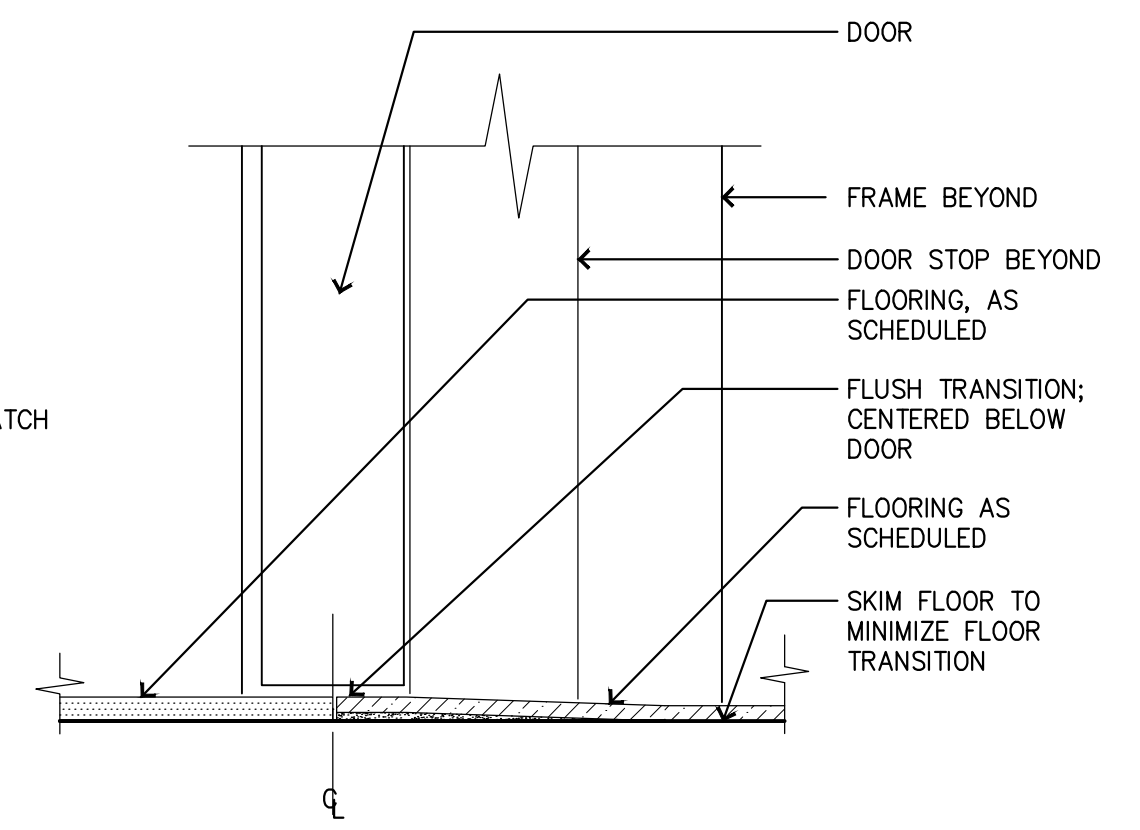
9 SILL DETAIL - EXTERIOR DOOR
SCALE: 6"=1'-0"



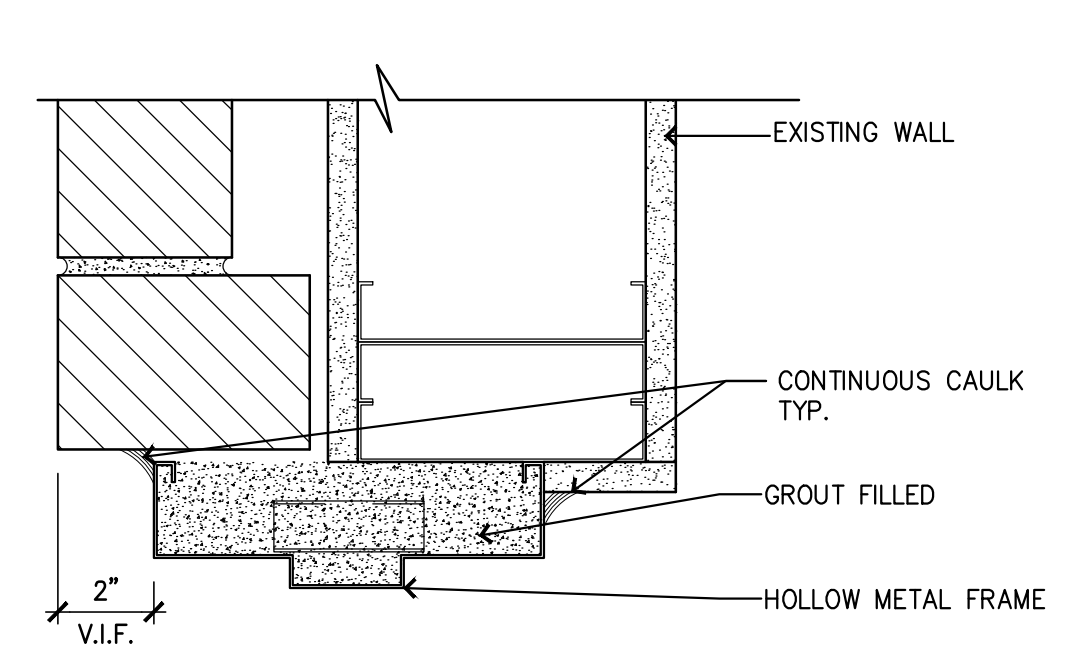
6 THRESHOLD DETAIL - TRANSITION STRIP
SCALE: 6"=1'-0"



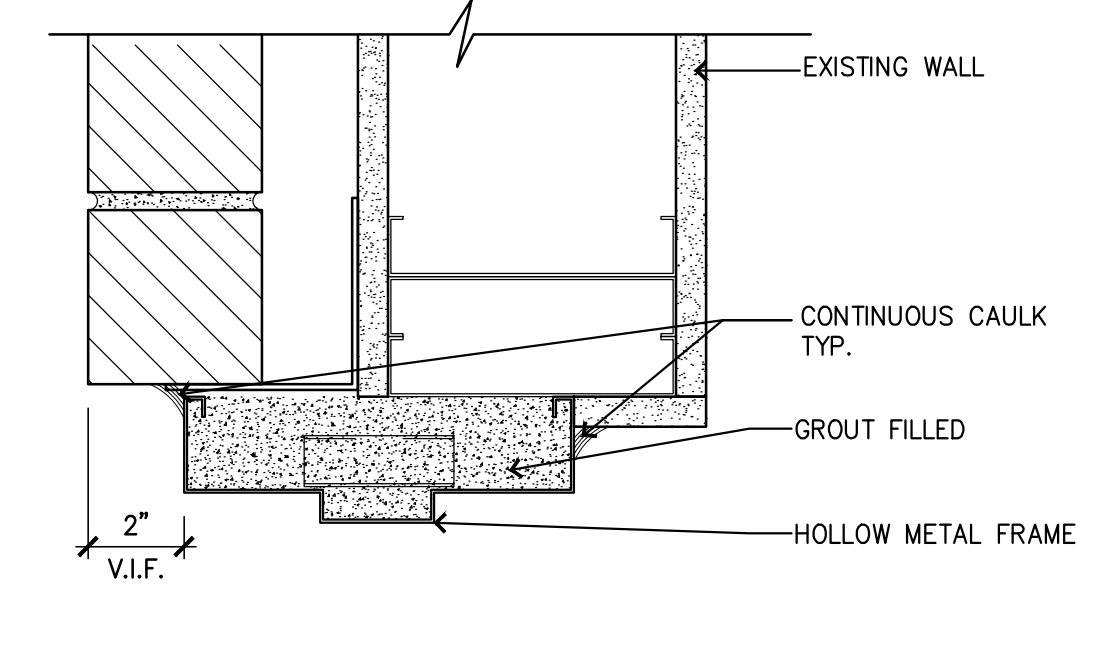
7 WOOD THRESHOLD DETAIL
SCALE: 6"=1'-0"



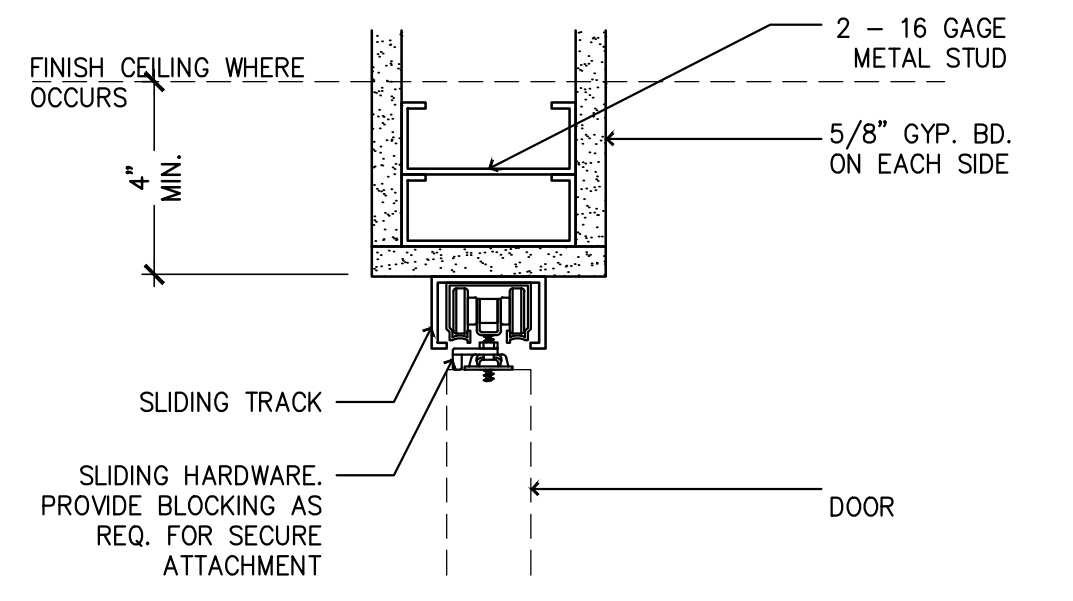
5 THRESHOLD DETAIL - EVEN TRANSITION
SCALE: 6"=1'-0"



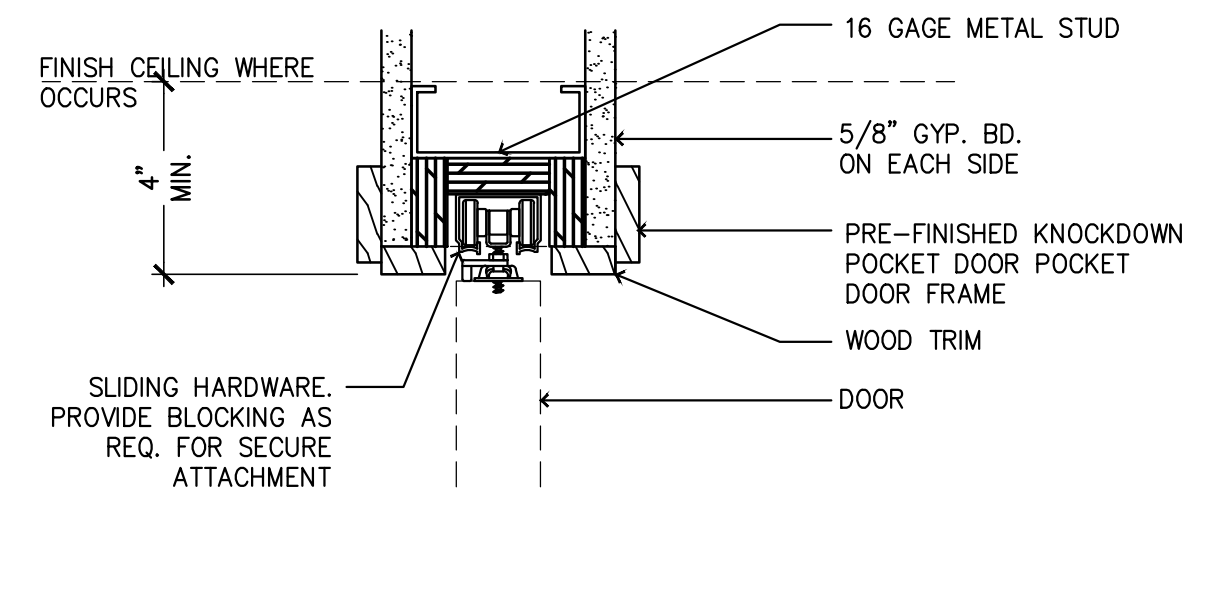
10 JAMB DETAIL - EXTERIOR
SCALE: 3"=1'-0"



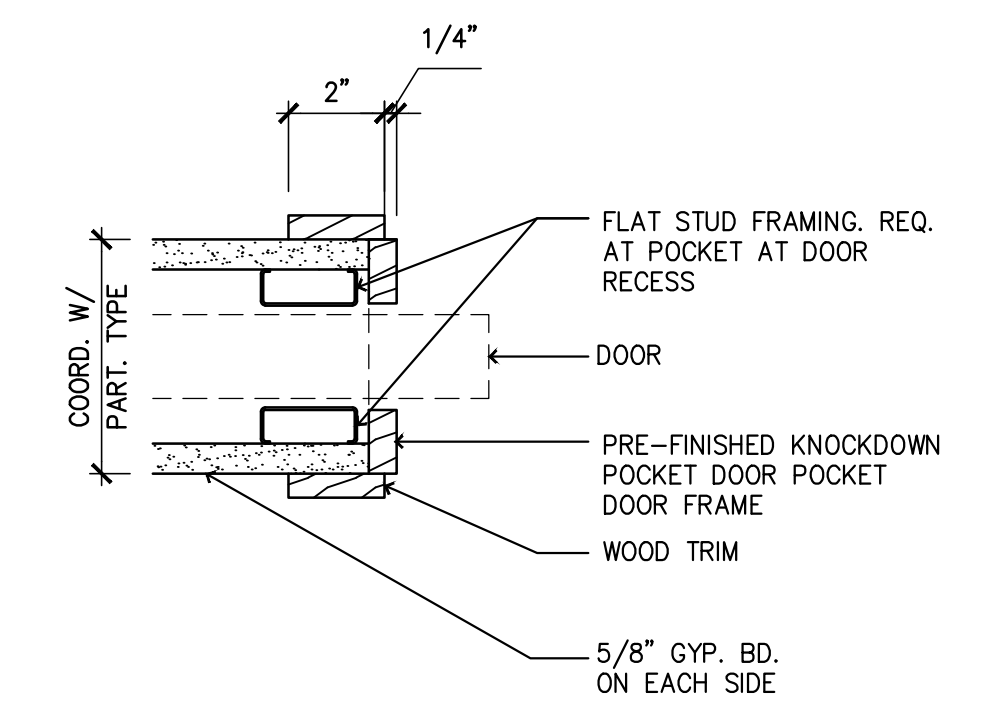
9 HEAD DETAIL - EXTERIOR
SCALE: 3"=1'-0"



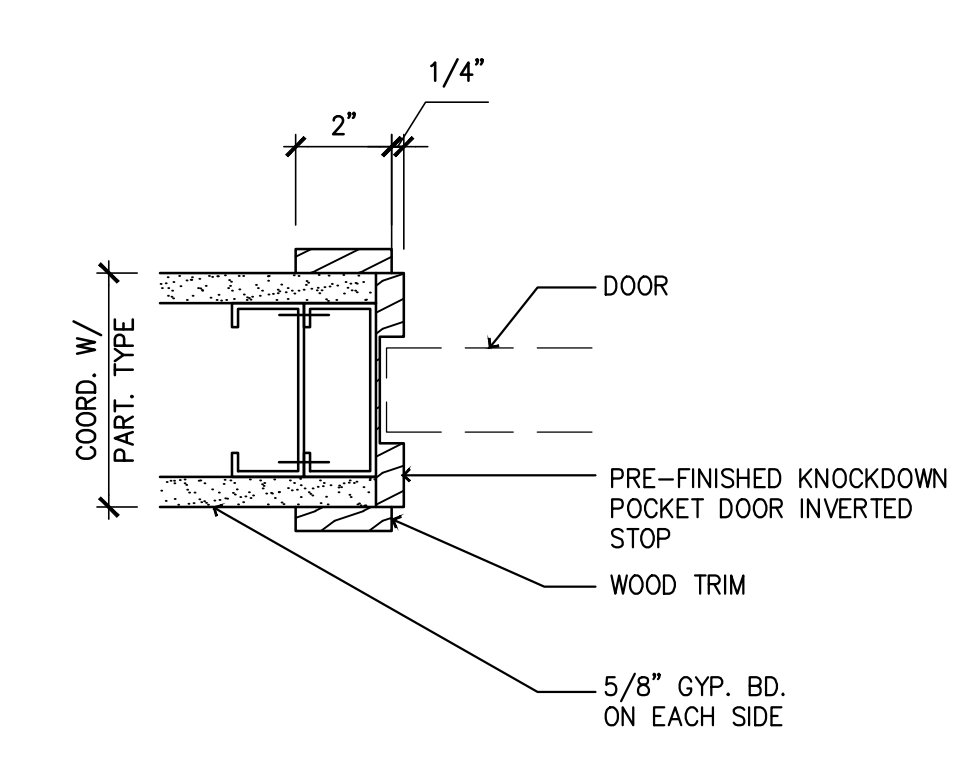
8 HEAD DETAIL - SLIDING DOOR
SCALE: 3"=1'-0"



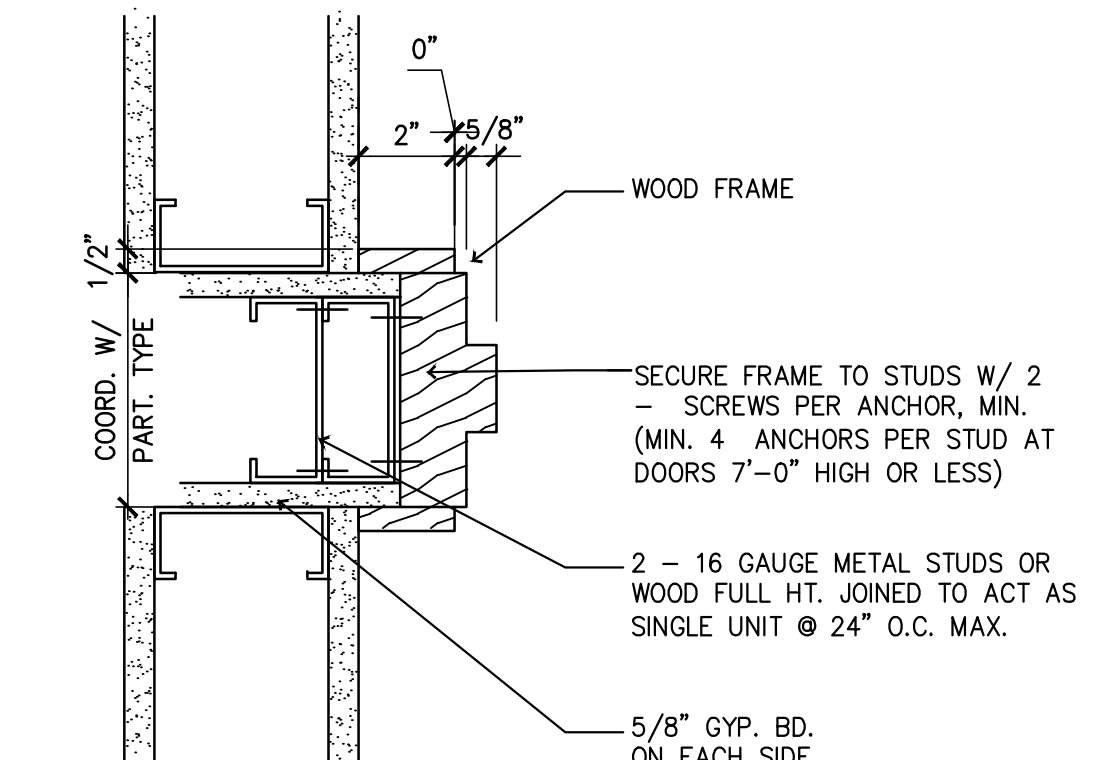
7 HEAD DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



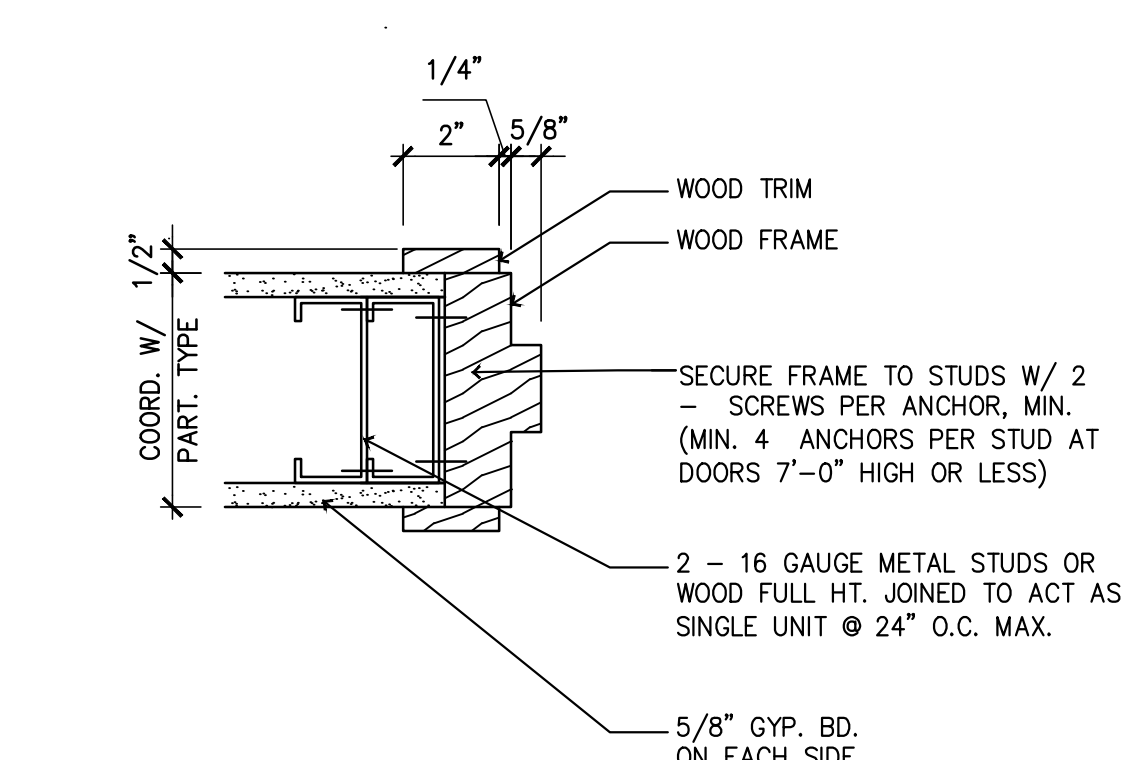
6 JAMB DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



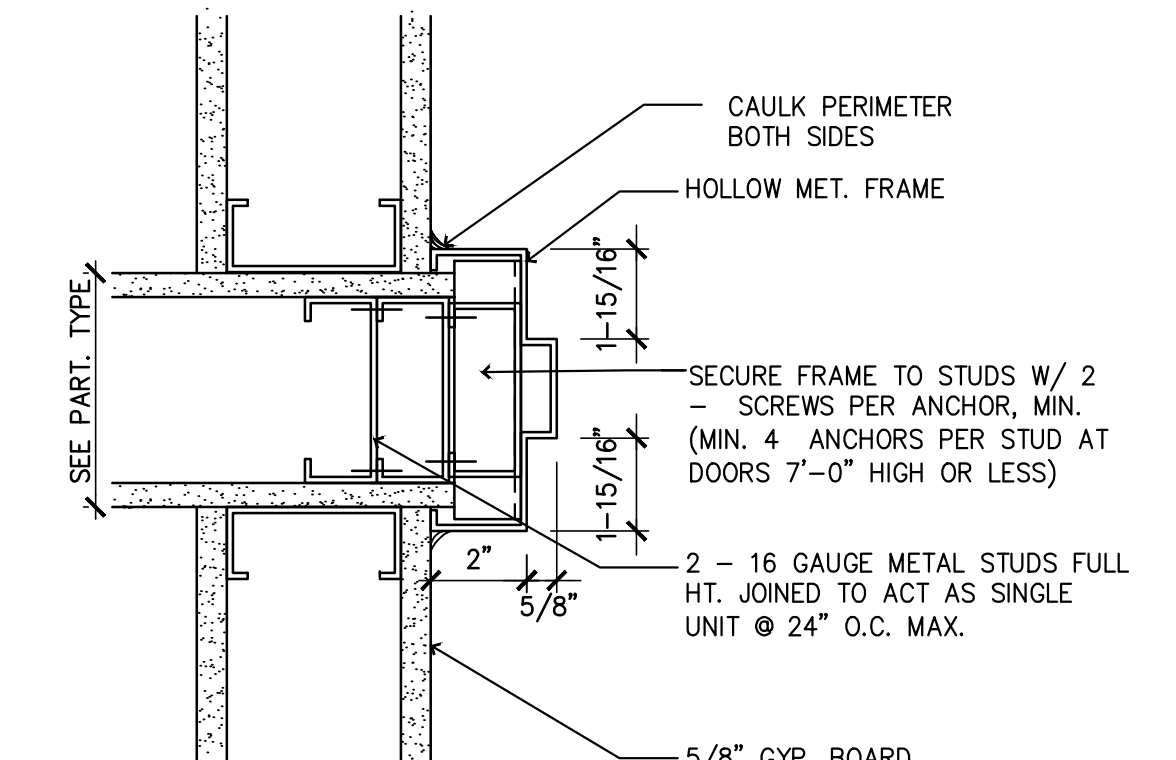
5 JAMB DETAIL - POCKET DOOR
SCALE: 3"=1'-0"



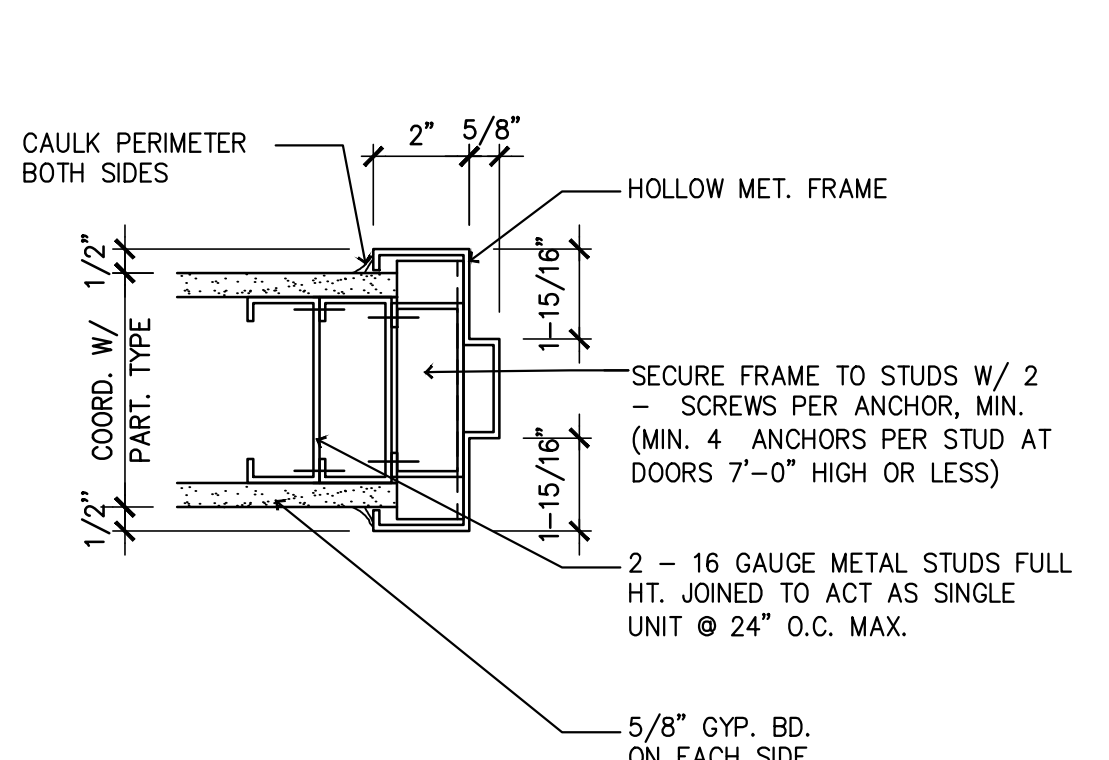
4 HEAD/JAMB DETAIL - WOOD
SCALE: 3"=1'-0"



3 HEAD/JAMB DETAIL - WOOD
SCALE: 3"=1'-0"



2 HEAD/JAMB DETAIL - HOLLOW METAL
SCALE: 3"=1'-0"



1 HEAD/JAMB DETAIL - HOLLOW METAL
SCALE: 3"=1'-0"

Revisions

No.	Description	Date

Project

Project Number
Drawing Information

DOOR HEADER, DOOR JAMB, AND THRESHOLD DETAIL

Scale _____ As Noted
Date _____
Drawn By _____ EA
Checked By _____

Drawing Number 12.2

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number
Drawing Information

EXTERIOR ELEVATION
EXISTING CONDITION

Scale _____ As Noted
 Date _____
 Drawn By _____ EA
 Checked By _____

Drawing Number A13.1



2 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - EXISTING CONDITION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - EXISTING CONDITION
SCALE: 1/4"=1'-0"

Architect

Consultant

Seal

Key Plan

Revisions

No.	Description	Date

Project

Project Number

Drawing Information

EXTERIOR ELEVATION
EXISTING CONDITION

Scale _____ As Noted

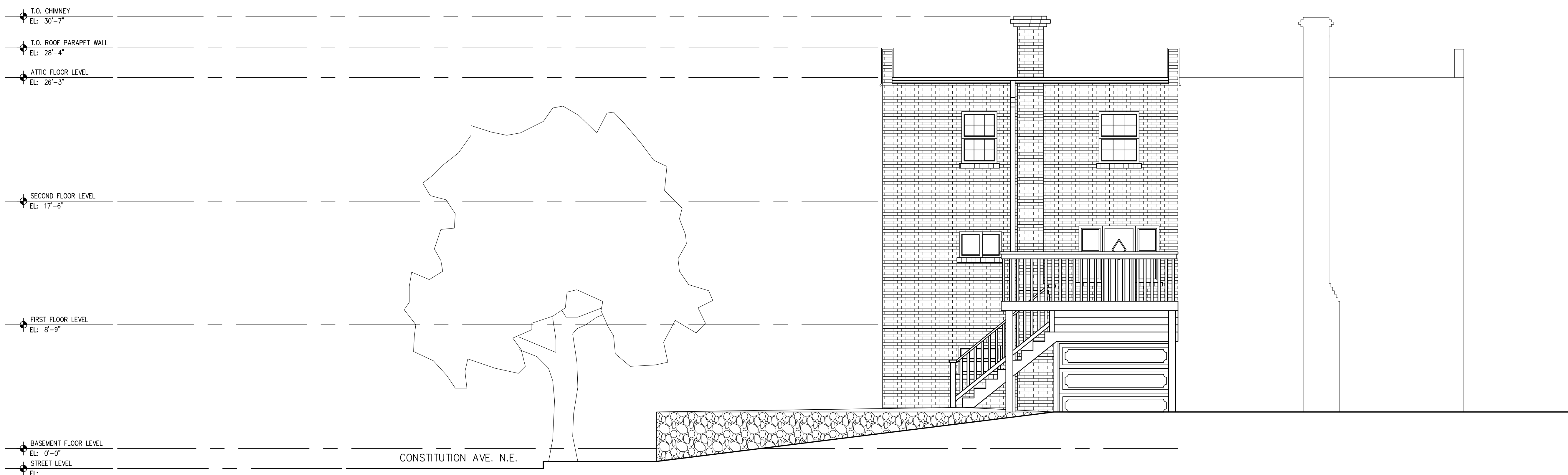
Date _____

Drawn By _____ EA

Checked By _____

Drawing Number

A13.2



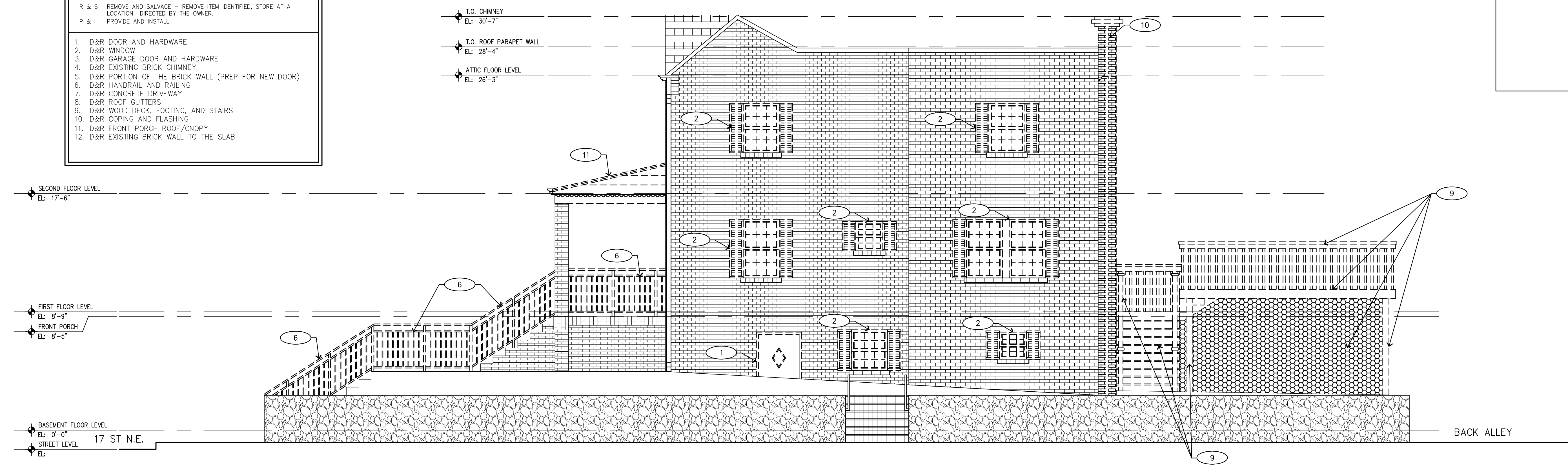
1 REAR ELEVATION (BACK ALLEY) - EXISTING CONDITION
 SCALE: 1/4"=1'-0"

No.	Description	Date

DEMO PLAN - KEY NOTES

D & R DEMO AND REMOVE - DEMOLISH ITEM IDENTIFIED & REMOVE
R & R REMOVE AND REINSTALL - REMOVE ITEM IDENTIFIED, STORE, PROTECT AND REINSTALL
R & S REMOVE AND SALVAGE - REMOVE ITEM IDENTIFIED, STORE AT A LOCATION, DIRECTED BY THE OWNER.
P & I PROVIDE AND INSTALL.

- D&R DOOR AND HARDWARE
- D&R WINDOW
- D&R GARAGE DOOR AND HARDWARE
- D&R EXISTING BRICK CHIMNEY
- D&R PORTION OF THE BRICK WALL (PREP FOR NEW DOOR)
- D&R HANDRAIL AND RAILING
- D&R CONCRETE DRIVEWAY
- D&R ROOF GUTTERS
- D&R WOOD DECK, FOOTING, AND STAIRS
- D&R COPING AND FLASHING
- D&R FRONT PORCH ROOF/CNOPY
- D&R EXISTING BRICK WALL TO THE SLAB



3 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - DEMOLITION
SCALE: 1/4"=1'-0"

TYPICAL DEMOLITION NOTES

COMPONENTS SHOWN AS "DASHED LINES" ON THIS DRAWING INDICATE PORTIONS OF EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.

FOR ALL ITEMS SCHEDULED FOR DEMOLITION, COORDINATE WITH OWNER'S REP. REGARDING WHICH ITEMS ARE TO BE PROTECTED, SALVAGED, AND/OR DISCARDED.

SCHEDULING & SEQUENCING OF THE WORK:
PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL MEET WITH THE OWNER'S REP. & A REPRESENTATIVE OF THE "END USER" TO DISCUSS & FORMULATE A SCHEDULING & SEQUENCING OF THE WORK PLAN IN AN EFFORT TO MINIMIZE THE DISRUPTION OF ONGOING SERVICES & ACTIVITIES WITHIN THE AREAS OF THE WORK. BEFORE COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF SCHEDULING & SEQUENCING INDICATING TARGET DATES FOR CERTAIN PHASES ON THE WORK & ASSOCIATED SELECTIVE DEMOLITION PROVIDE COPIES TO OWNERS REP., END USER & ARCHITECT.

ELECTRICAL COMPONENTS: COORDINATE REMOVAL OF ELECTRICAL SYSTEMS AND COMPONENTS WITH ELECTRICAL DRAWINGS.

MECHANICAL COMPONENTS: COORDINATE REMOVAL OF MECHANICAL SYSTEMS AND COMPONENTS WITH MECHANICAL DRAWINGS.

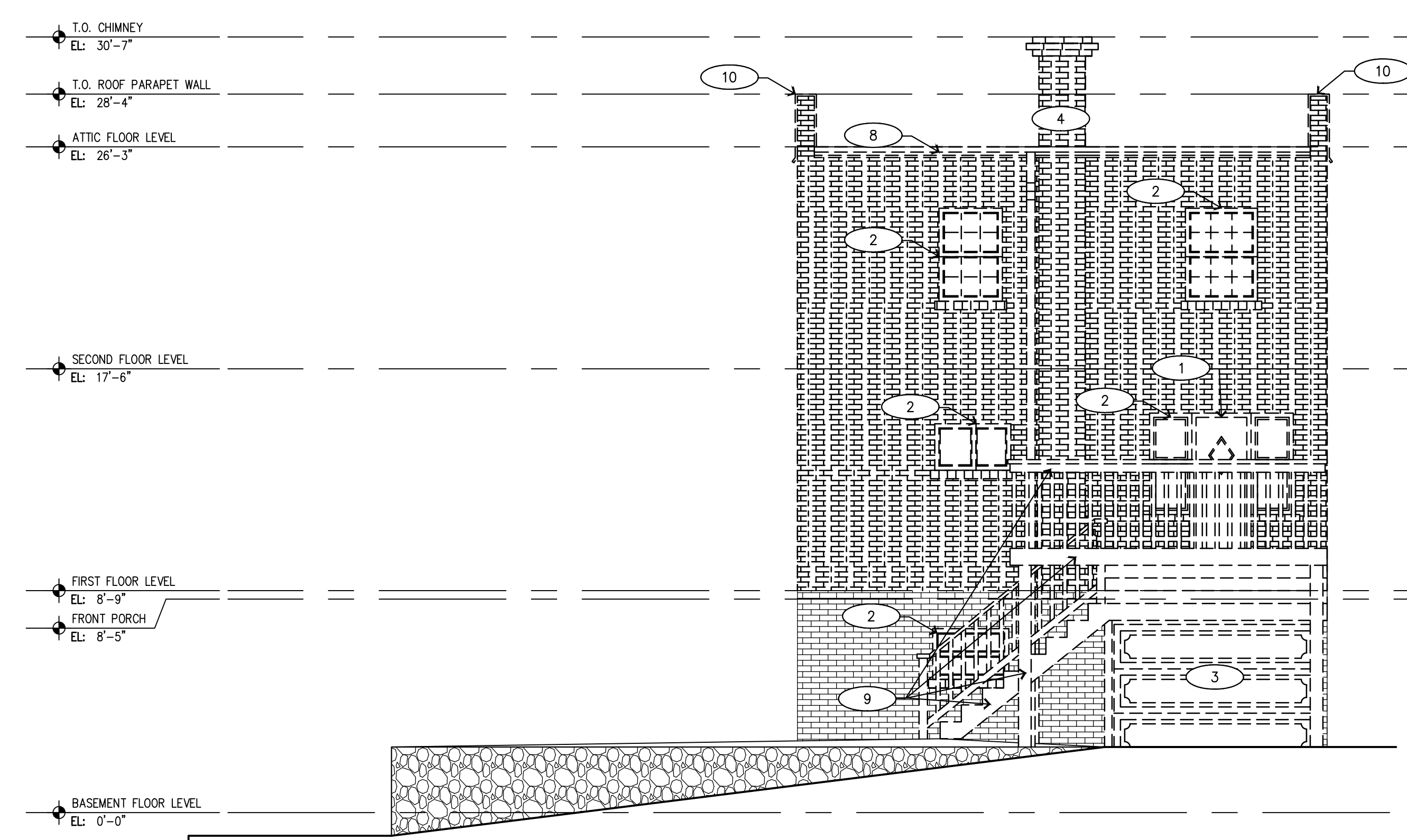
PLUMBING COMPONENTS: COORDINATE REMOVAL OF PLUMBING SYSTEMS AND COMPONENTS WITH PLUMBING DRAWINGS.

G.C. SHALL BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAR OF DEBRIS AND MAINTAINING FIRE EGRESS PATHS.

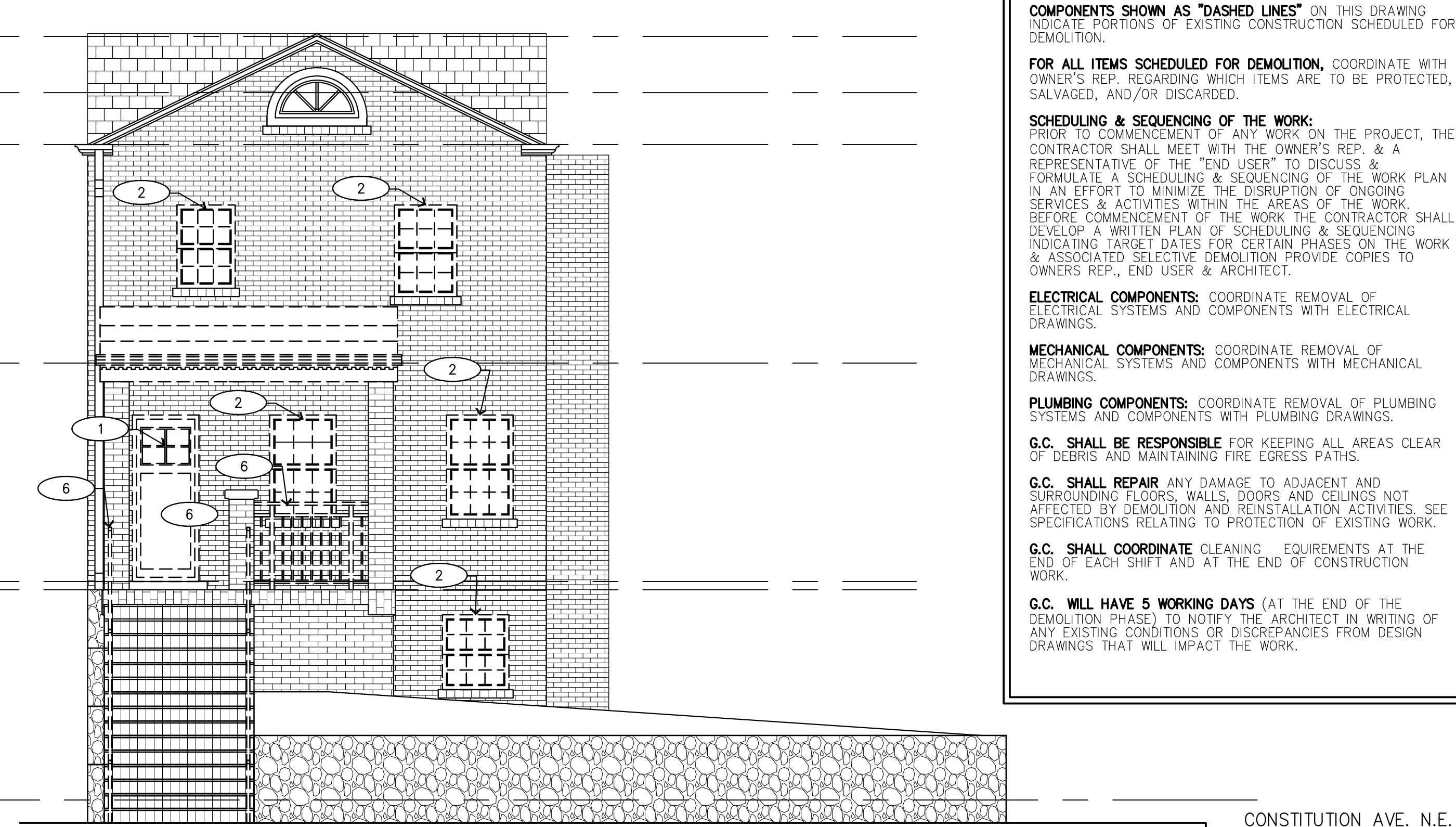
G.C. SHALL REPAIR ANY DAMAGE TO ADJACENT AND SURROUNDING FLOORS, WALLS, DOORS AND CEILINGS NOT AFFECTED BY DEMOLITION AND REINSTALLATION ACTIVITIES. SEE SPECIFICATIONS RELATING TO PROTECTION OF EXISTING WORK.

G.C. SHALL COORDINATE CLEANING REQUIREMENTS AT THE END OF EACH SHIFT AND AT THE END OF CONSTRUCTION WORK.

G.C. WILL HAVE 5 WORKING DAYS (AT THE END OF THE DEMOLITION PHASE) TO NOTIFY THE ARCHITECT IN WRITING OF ANY EXISTING CONDITIONS OR DISCREPANCIES FROM DESIGN DRAWINGS THAT WILL IMPACT THE WORK.

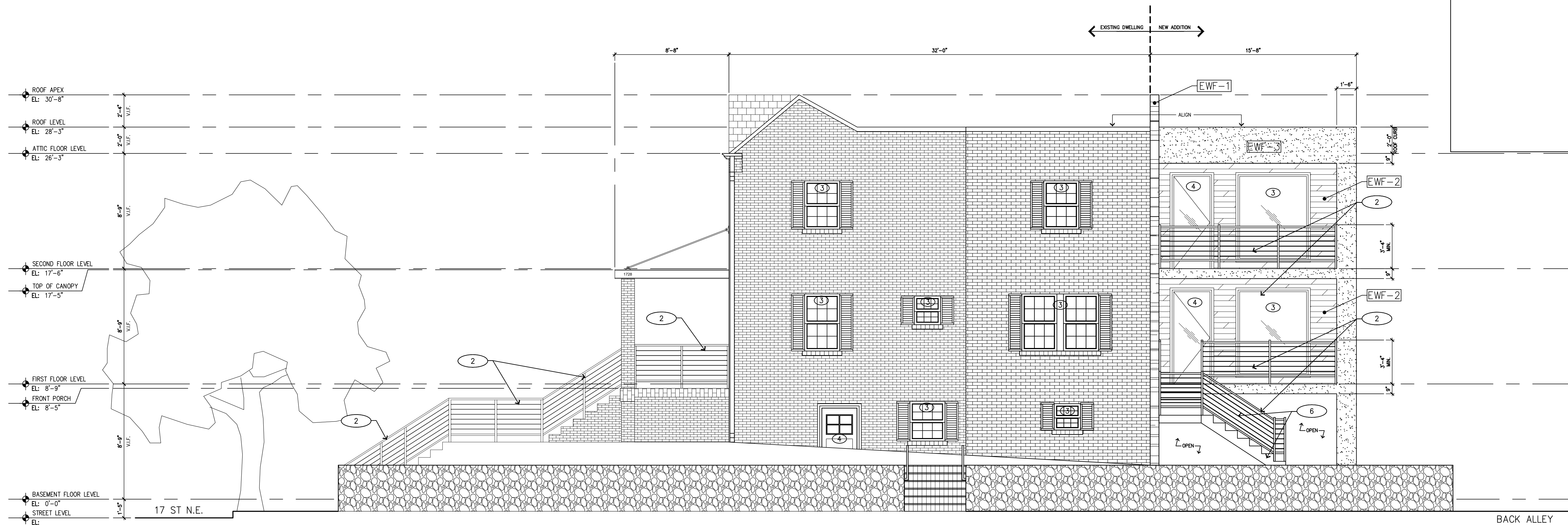


2 REAR ELEVATION (BACK ALLEY) - DEMOLITION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - DEMOLITION
SCALE: 1/4"=1'-0"

CONSTITUTION AVE. N.E.



2 SIDE ELEVATION (CONSTITUTION AVE. N.E.) - NEW WORK
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (17TH STREET N.E.) - NEW WORK
SCALE: 1/4"=1'-0"

ELEVATION - KEY NOTES #

1. REPAIR OR REPLACE DAMAGED OR MISSING BRICK TO MATCH EXISTING, WHERE REQUIRED.
2. FURNISH AND INSTALL METAL RAILING AND HANDRAIL. COLOR: BLACK.
3. FURNISH AND INSTALL (IN PLACE) NEW ALUMINUM WINDOW. COLOR: WHITE (TO MATCH EXISTING). SEE WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE.
4. FURNISH AND INSTALL NEW ENTRY DOOR. SEE DOOR SCHEDULE FOR DOOR TYPE AND SIZE.
5. FURNISH AND INSTALL NEW METAL PORCH CANOPY. COLOR: BLACK.
6. FURNISH AND INSTALL METAL STAIRS AND HANDRAIL. COLOR: BLACK.

EXTERIOR WALL FINISH MATERIAL

[EWF-1] PRODEMA PRODEX WOOD PANELS IN LIGHT BROWN

[EWF-2] PRODEMA PRODEX 6" WOOD SIDING. COLOR: LIGHT BROWN

[EWF-3] STUCCO WALL. COLOR: WHITE

Revisions

No.	Description	Date

Project

Project Number _____
Drawing Information

**EXTERIOR ELEVATIONS
NEW WORK**

Scale _____ As Noted
Date _____
Drawn By _____ EA
Checked By _____

Revisions

No.	Description	Date

Project

Project Number
Drawing Information

EXTERIOR ELEVATION
NEW WORK

Scale _____ As Noted
Date _____
Drawn By _____
Checked By _____

Drawing Number **A13.5**

ELEVATION - KEY NOTES #

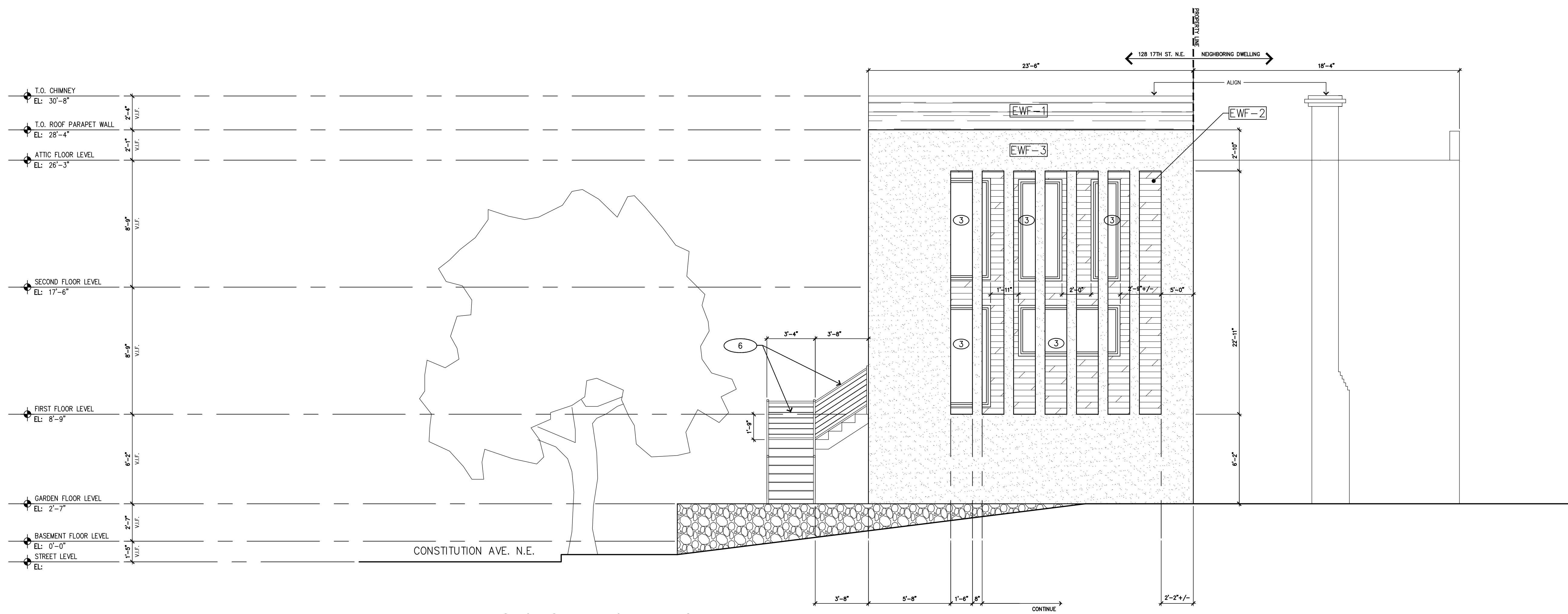
1. REPAIR OR REPLACE DAMAGED OR MISSING BRICK TO MATCH EXISTING, WHERE REQUIRED.
2. FURNISH AND INSTALL METAL RAILING AND HANDRAIL. COLOR: BLACK.
3. FURNISH AND INSTALL (IN PLACE) NEW ALUMINUM WINDOW. COLOR: WHITE (TO MATCH EXISTING). SEE WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE.
4. FURNISH AND INSTALL NEW ENTRY DOOR. SEE DOOR SCHEDULE FOR DOOR TYPE AND SIZE.
5. FURNISH AND INSTALL NEW METAL PORCH CANOPY. COLOR: BLACK.
6. FURNISH AND INSTALL METAL STAIRS AND HANDRAIL. COLOR: BLACK.

EXTERIOR WALL FINISH MATERIAL

EW-1 PRODEMA PRODEX WOOD PANELS IN LIGHT BROWN

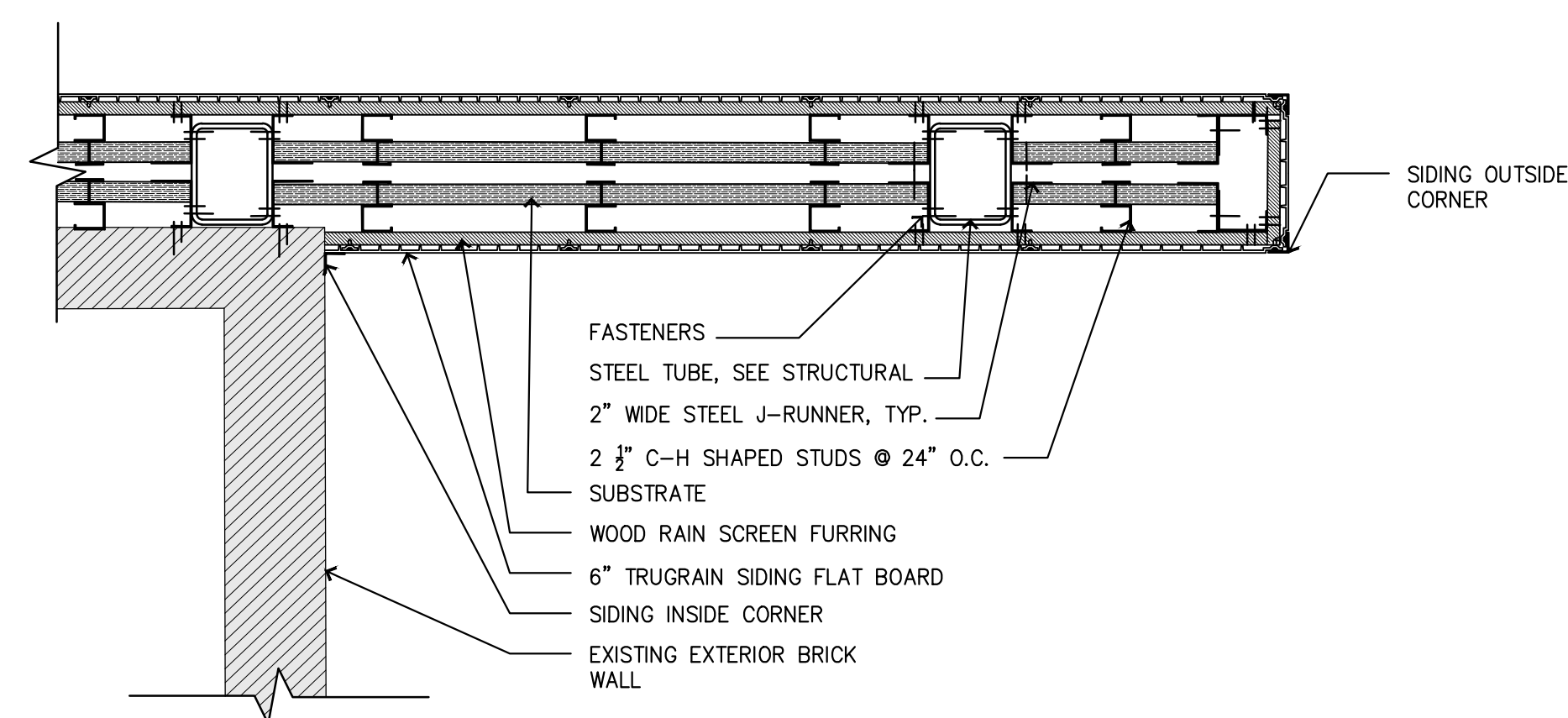
EW-2 PRODEMA PRODEX 6" WOOD SIDING. COLOR: LIGHT BROWN

EW-3 STUCCO WALL. COLOR: WHITE

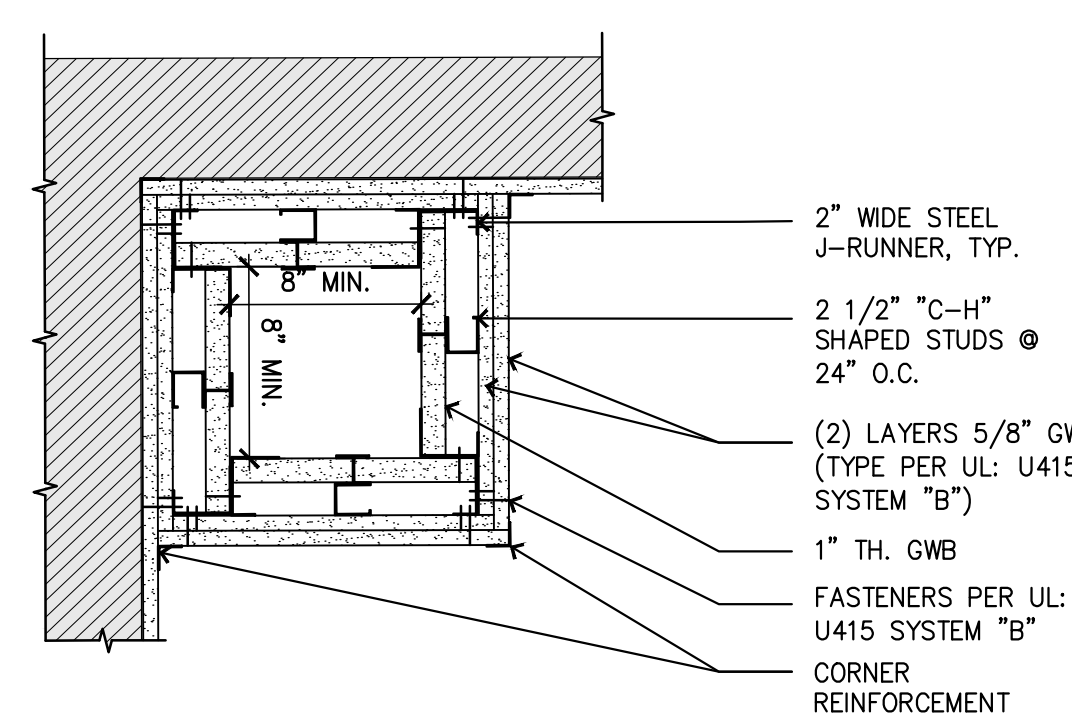


1 REAR ELEVATION (BACK ALLEY) - NEW WORK
SCALE: 1/4"=1'-0"

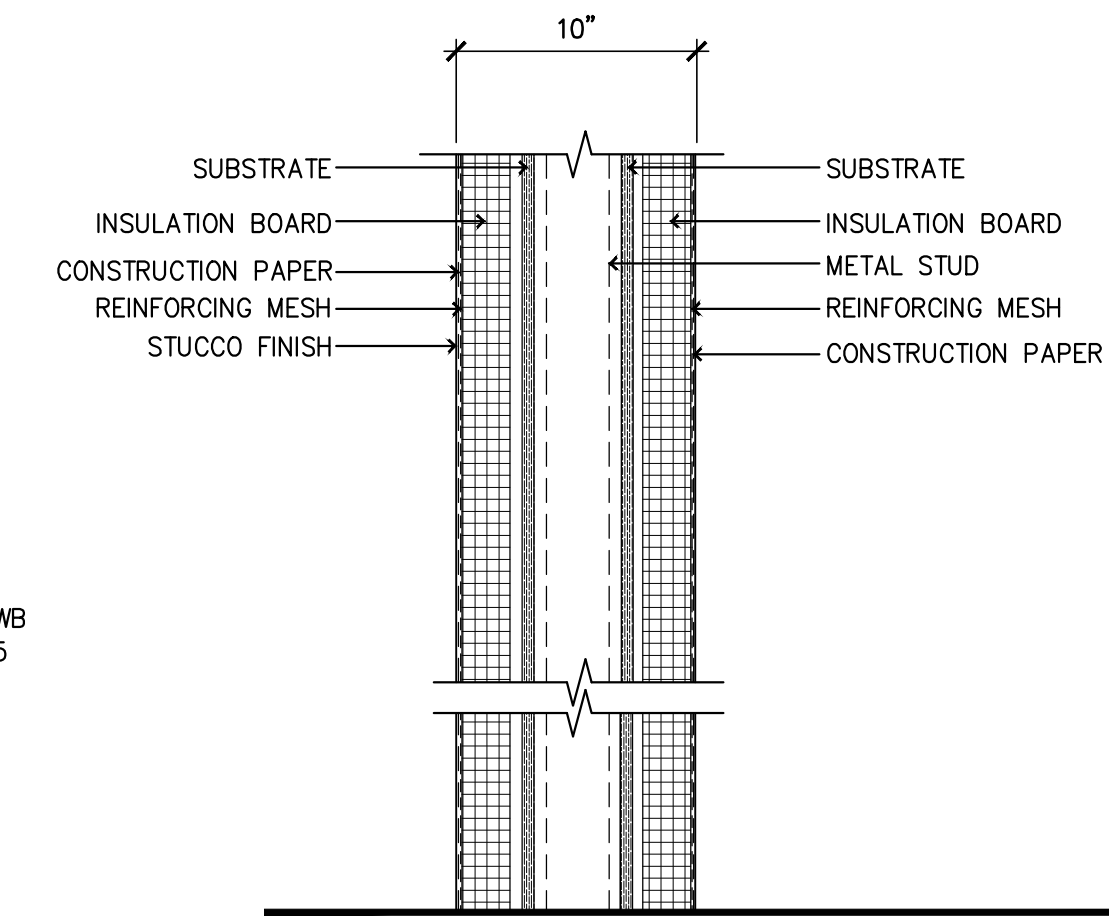
No.	Description	Date
Δ	PEER REVIEW	12/21/2015



3 WALL DETAIL
 SCALE: 1 1/2" = 1'-0"

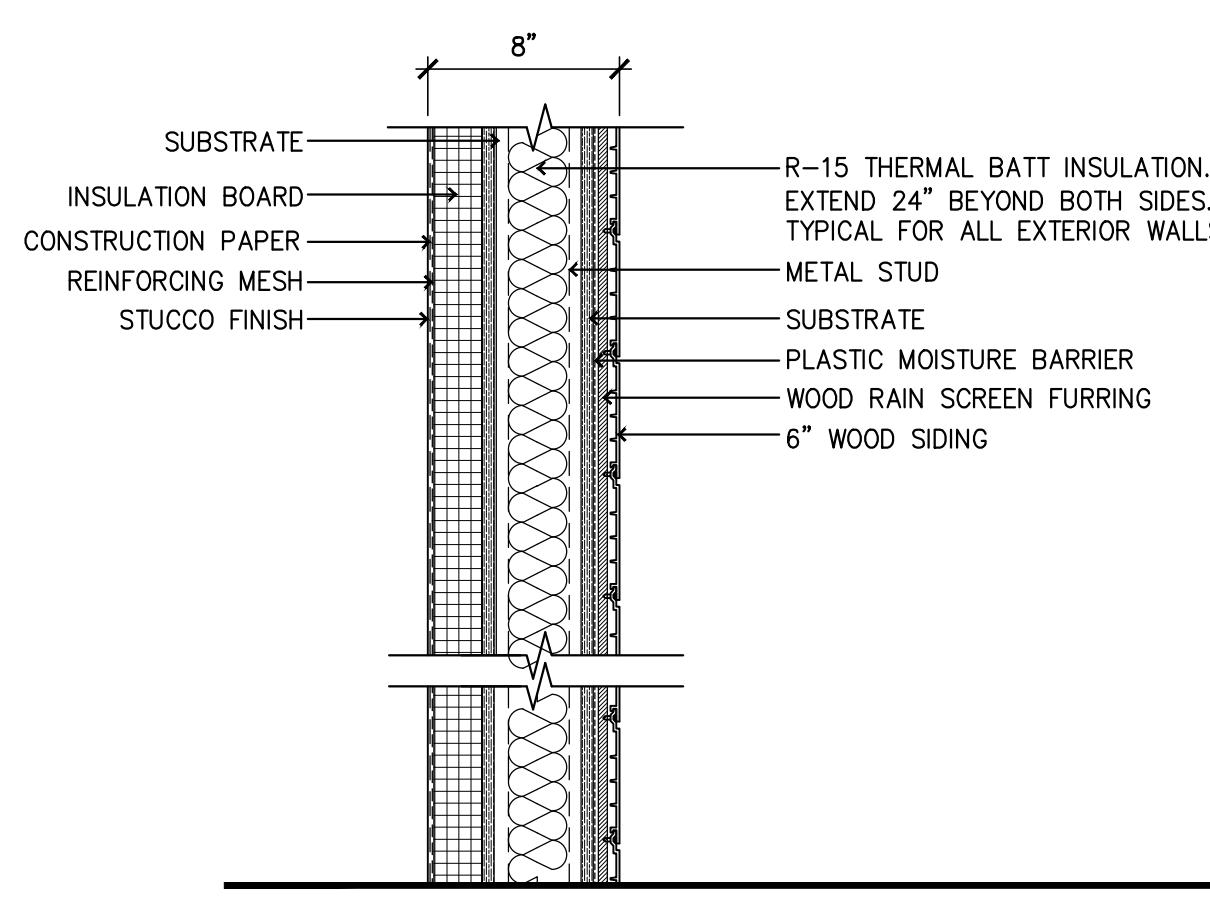


2 WALL DETAIL
 SCALE: 1 1/2" = 1'-0"

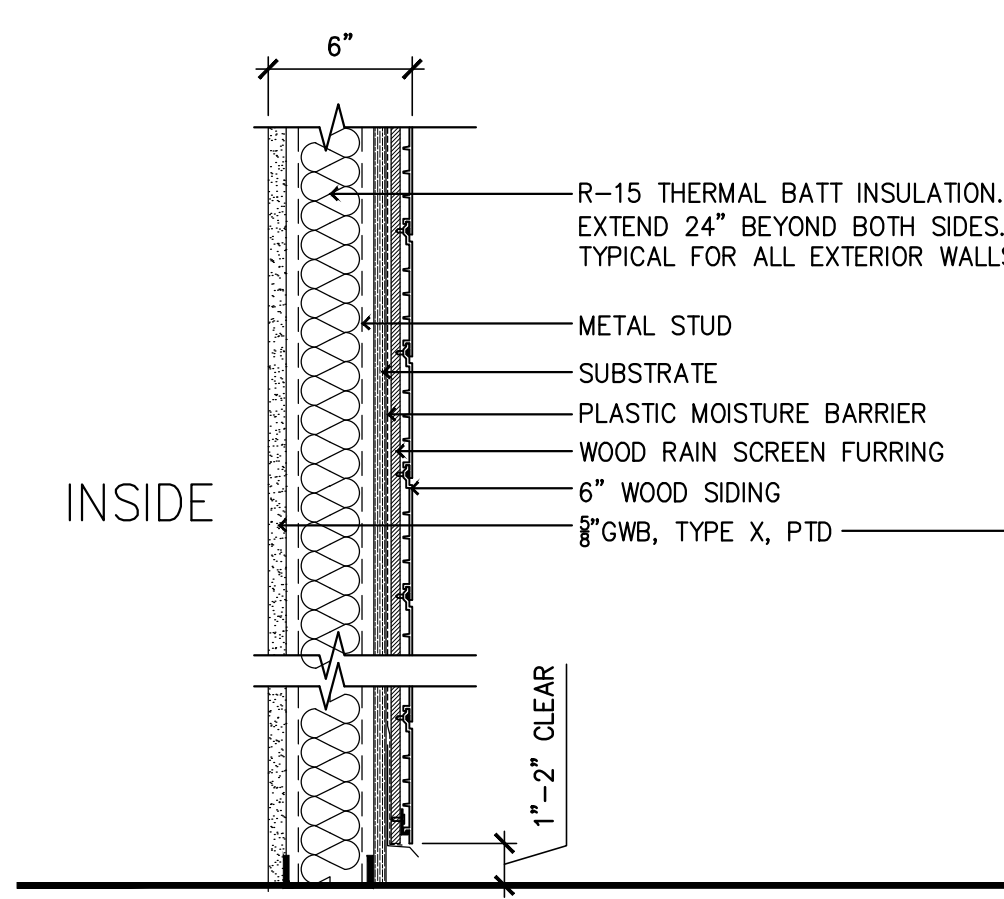


10 TYPICAL STUCCO WALL DETAIL
 CONSTRUCT W/ 3 5/8" MTL. STUDS
 EXTERIOR: UL U356 1 HR

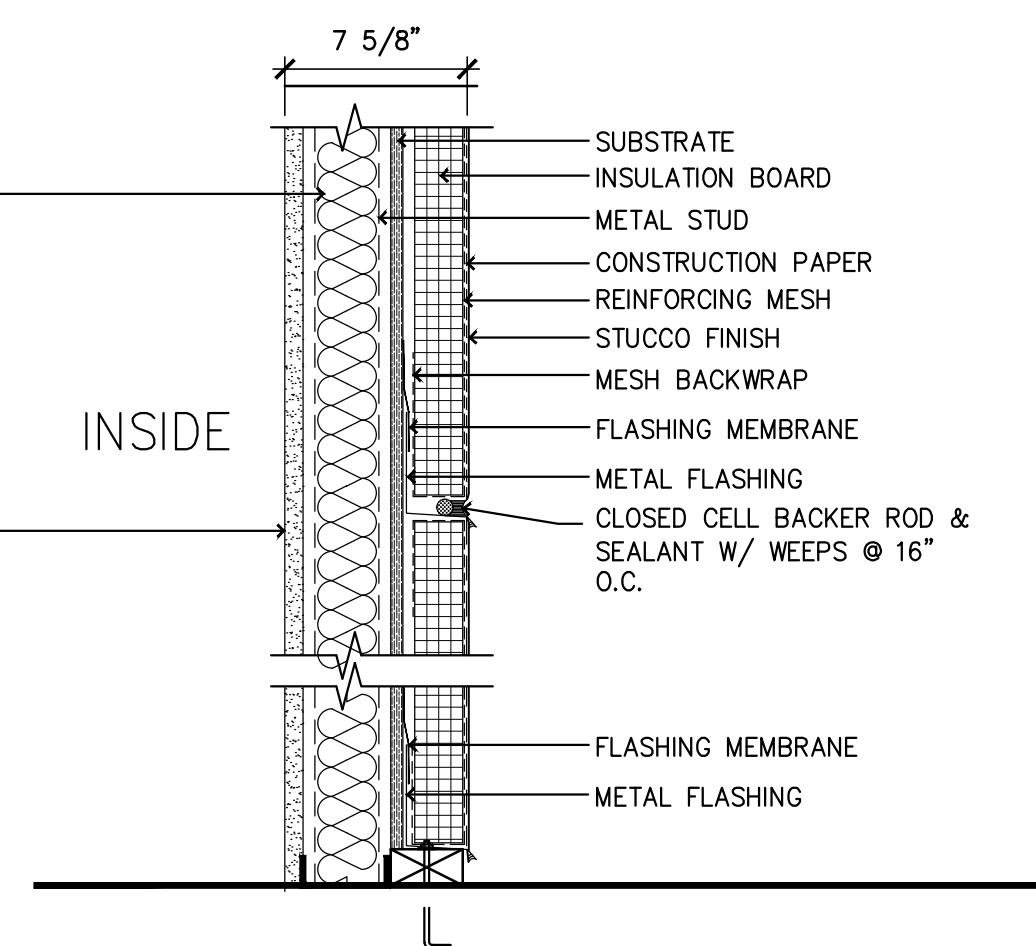
10A TYPICAL STUCCO WALL DETAIL
 CONSTRUCT W/ 3 5/8" MTL. STUDS
 EXTERIOR: UL U905 2HR



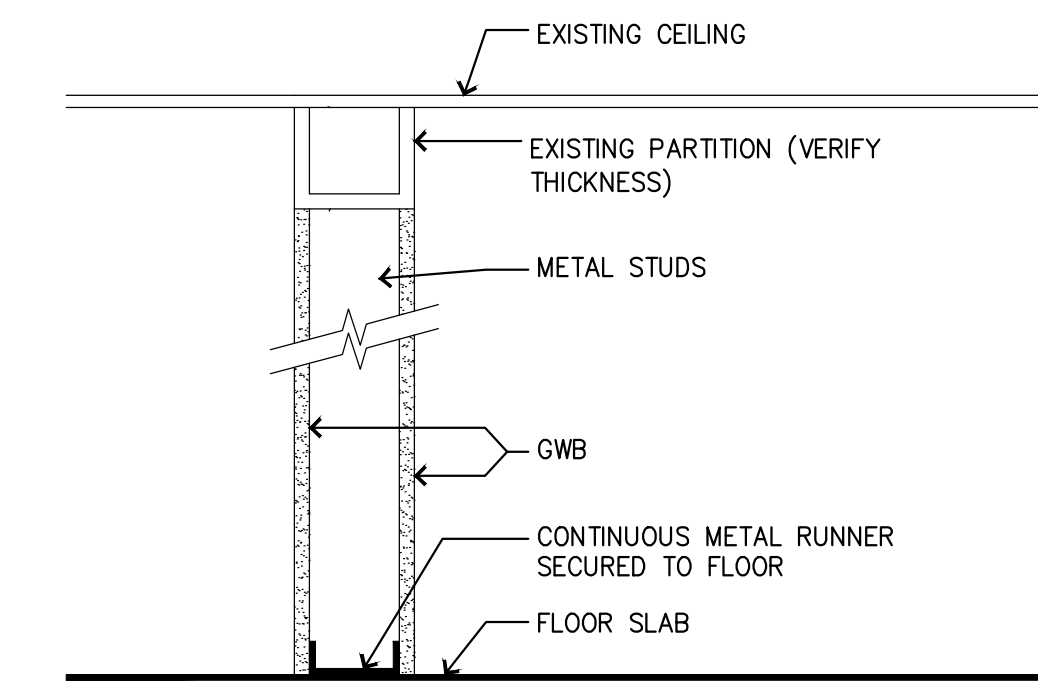
9 WALL DETAIL (BALCONY)
 CONSTRUCT W/ 3 5/8" MTL. STUDS
 EXTERIOR: UL U356 1 HR



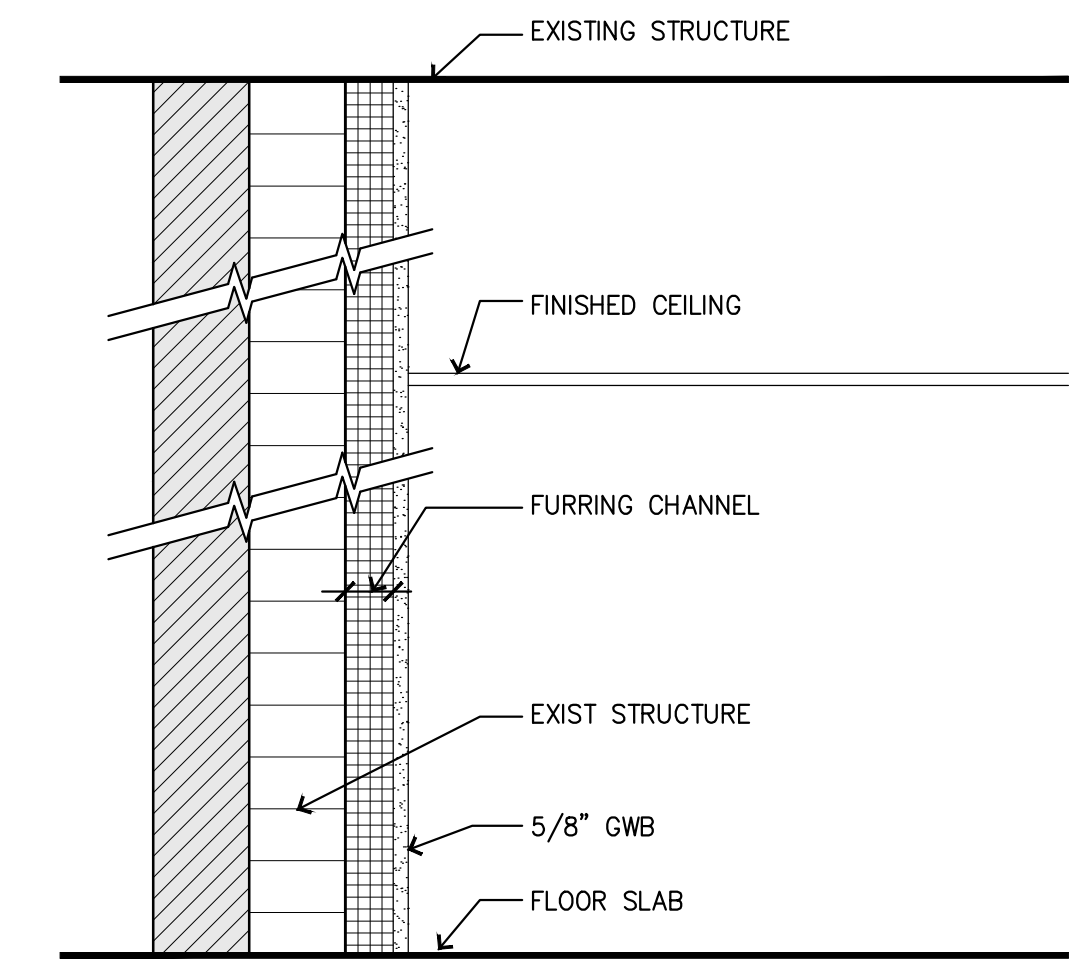
8 TYPICAL WOOD SIDING WALL DETAIL
 CONSTRUCT W/ 3 5/8" MTL. STUDS
 EXTERIOR: UL U356 1 HR



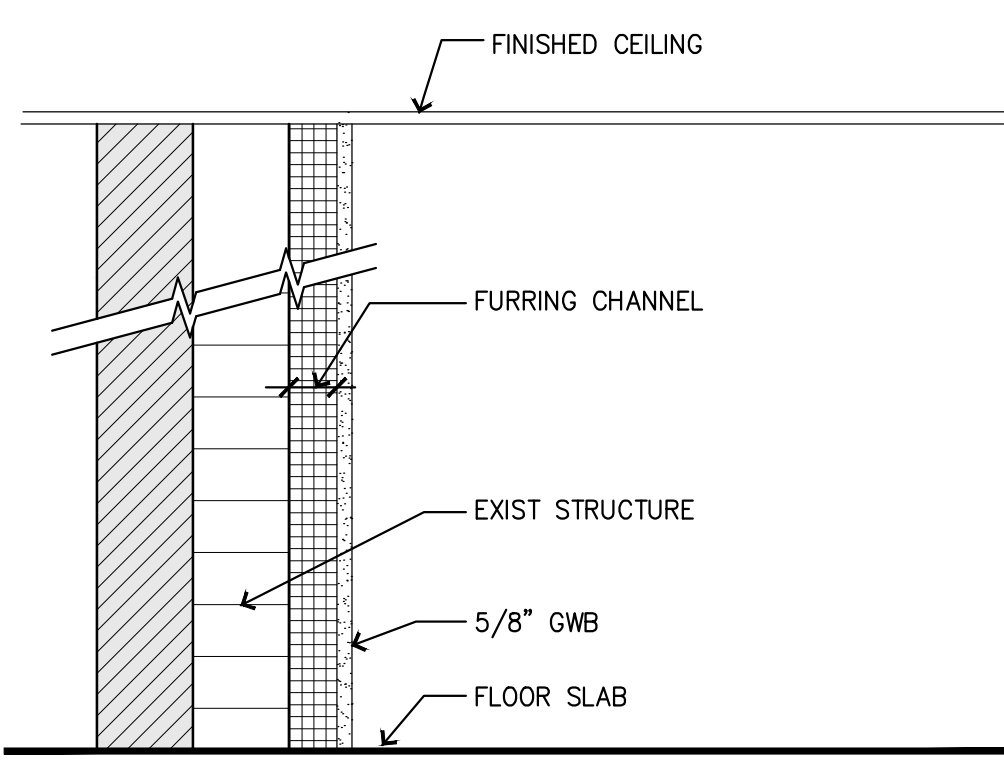
7 TYPICAL STUCCO WALL DETAIL
 CONSTRUCT W/ 3 5/8" MTL. STUDS
 EXTERIOR: UL U356 1 HR



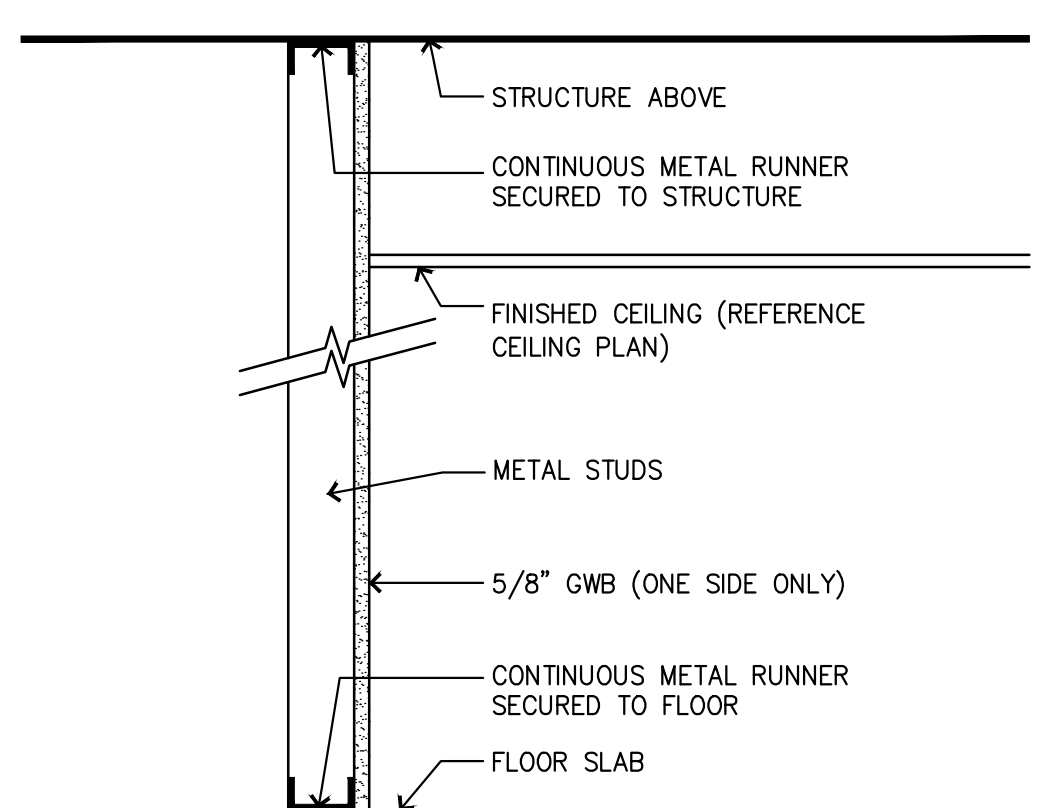
6 DOOR OPENING INFILL
 CONSTRUCT W/ 3 5/8" MTL. STUDS



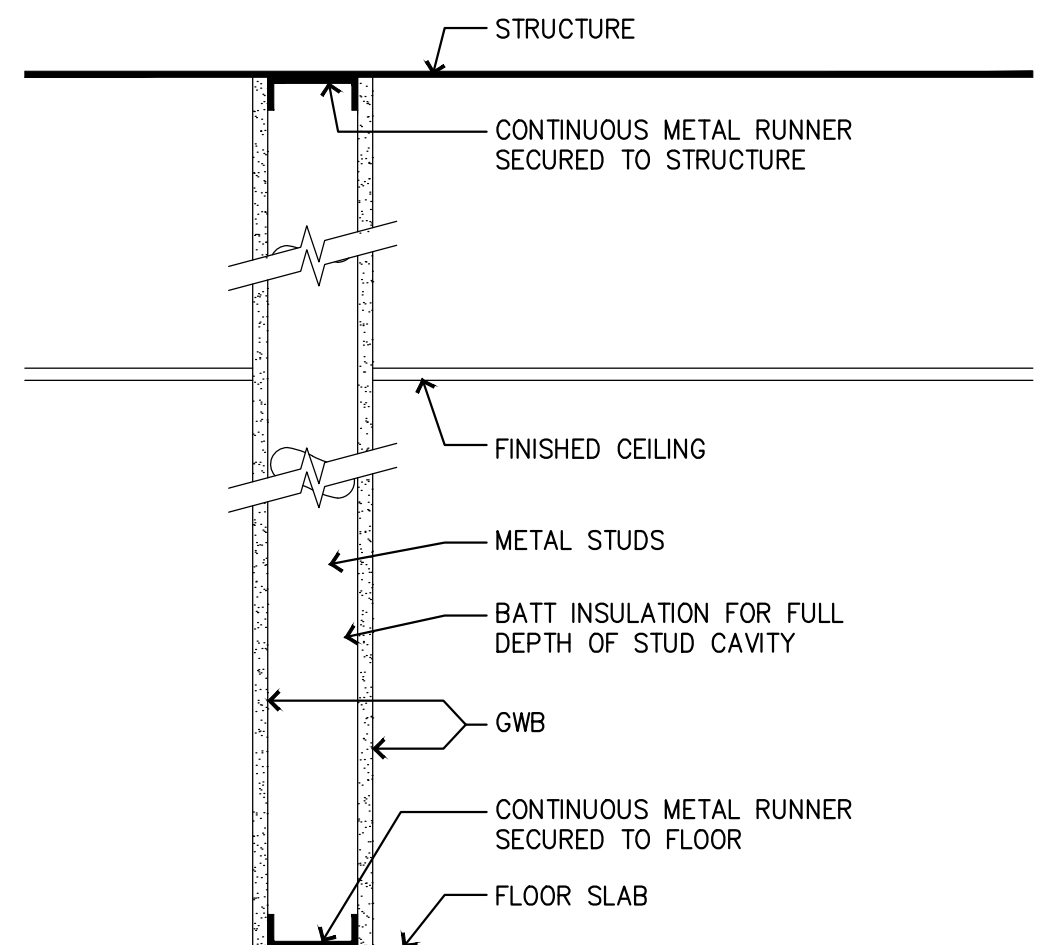
5 FULL HEIGHT PARTITION (FURRED)
 AT EXISTING WALL: 1 HR PER IBC TABLE 721.4.1(1)



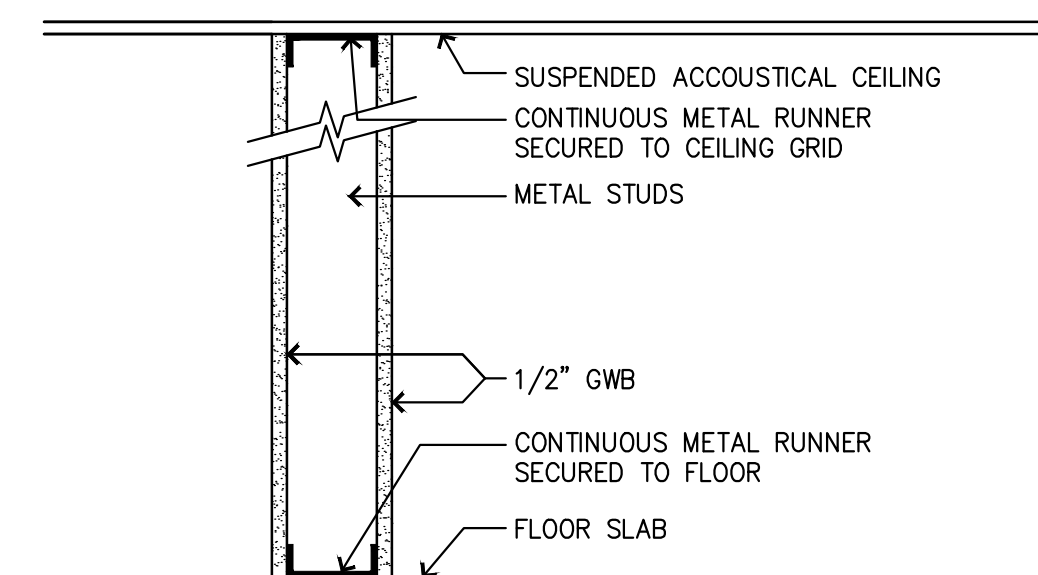
4 PARTITION (FURRED)
 AT EXISTING WALL: 1 HR PER IBC TABLE 721.4.1(1)



3 FULL HEIGHT PARTITION - ONE SIDE
 CONSTRUCT W/ 2 1/2" MTL. STUDS



2 FULL HEIGHT PARTITION (SMOKE/CORR.)
 CONSTRUCT AS CORRIDOR PARTITION AS PER IBC 2012 SECTION 710



1 CEILING HT. PARTITION
 CONSTRUCT W/ 2 1/2" MTL. STUDS

TYPICAL NOTES: PARTITION TYPES

UNLESS NOTED OTHERWISE PARTITIONS SHALL BE CONSTRUCTED AS FOLLOWS:

- 1) METAL STUDS = 3 5/8" (20 GA) @16" O.C.
- 2) METAL FURRING CHANNELS = 7/8" (20 GA.) @16" O.C.
- 3) GYPSUM WALL BOARD (GWB) = 5/8" GWB
- 4) BATT, BLANKET, & SOUND INSULATION SHALL HAVE FLAME SPREAD RATING OF LESS THAN 25 (INCLUDING ANY VAPOR BARRIERS) AND A SMOKE-DEVELOPED INDEX OF LESS THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- 5) AT LOCATIONS SCHEDULED TO RECEIVE CERAMIC TILE, PROVIDE 1/2" CEMENTITIOUS BOARD IN LIEU OF GWB.
- 6) PROVIDE WATER RESISTANT GYPSUM BACKER BOARD AT ANY WALL WITH A FLUMBING FIXTURE
- 7) CONCEALED FIRE WALLS, VERTICAL FIRE SEPARATION ASSEMBLIES, FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE DESIGNATED ABOVE CEILINGS AND ON THE INSIDE OF ALL CEILING ASSEMBLIES BY SIGNAGE HAVING LETTERS NO SMALLER THAN ONE INCH IN HEIGHT. SUCH SIGNAGE SHALL INDICATE THE FIRE-RESISTANCE RATING OF THE ASSEMBLY AND THE TYPE OF ASSEMBLY AND BE PROVIDED AT HORIZONTAL INTERVALS OF NO MORE THAN EIGHT FEET.
- 8) ANCHOR ENDS OF PARTIAL HEIGHT WALLS WITH STEEL POST & HEAVY GAUGE STUDS.

Revisions		
No.	Description	Date

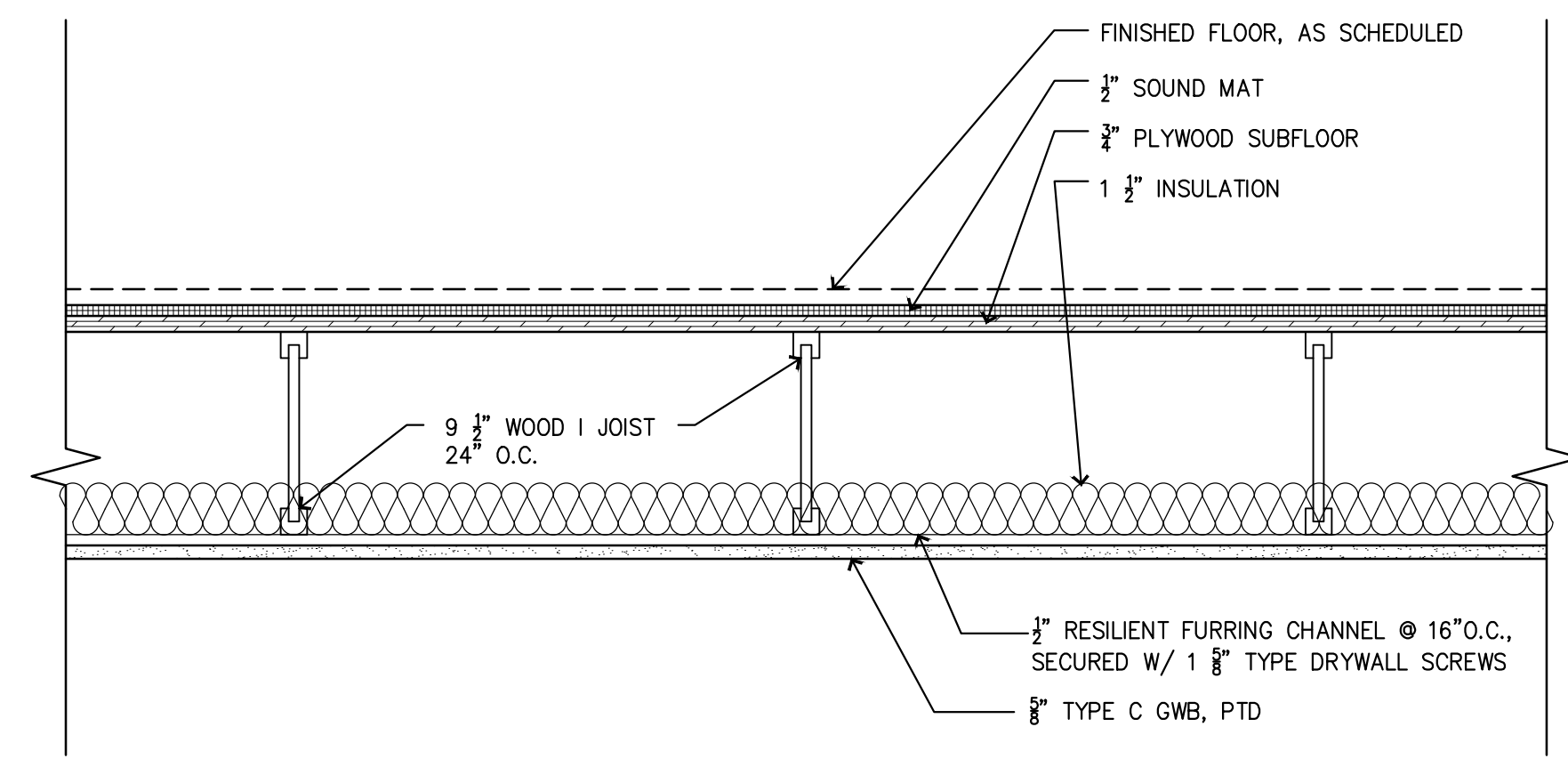
Project

Project Number
Drawing Information

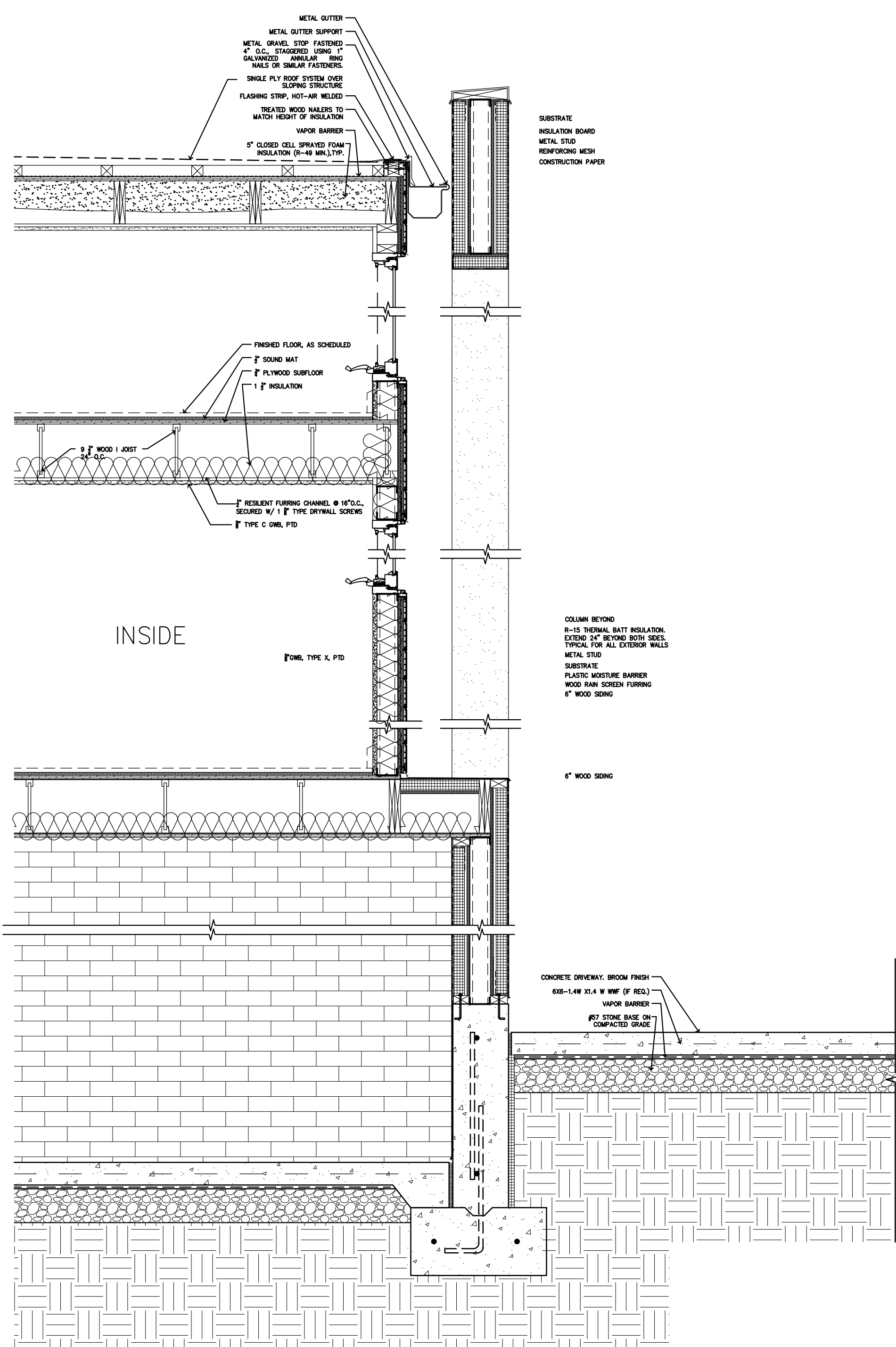
INTERIOR DETAILS

Scale _____ As Noted
 Date _____ 11/11/2015
 Drawn By _____ EA
 Checked By _____ KC

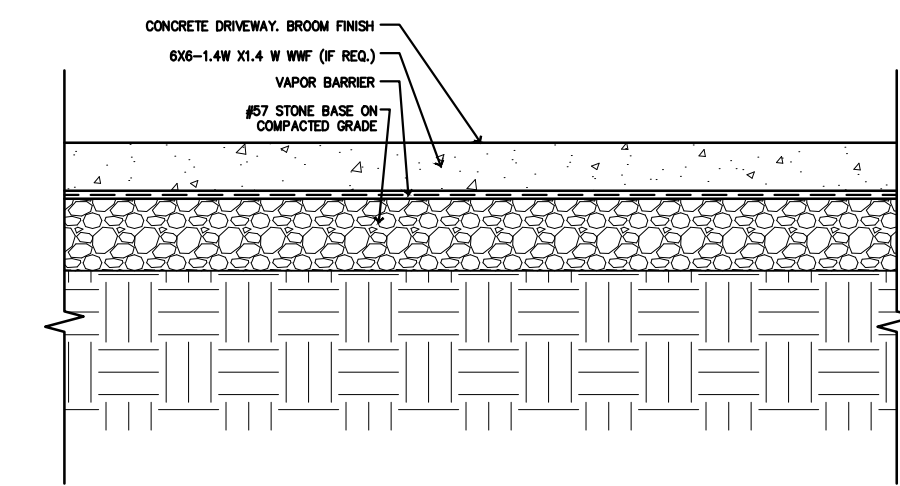
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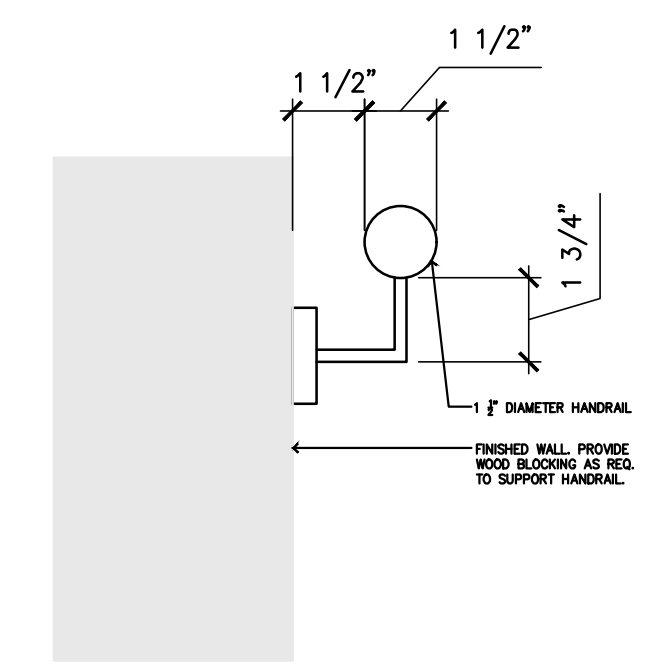
6 TYPICAL FLOOR/CEILING ASSEMBLY
SCALE: 1 1/2"=1'-0"



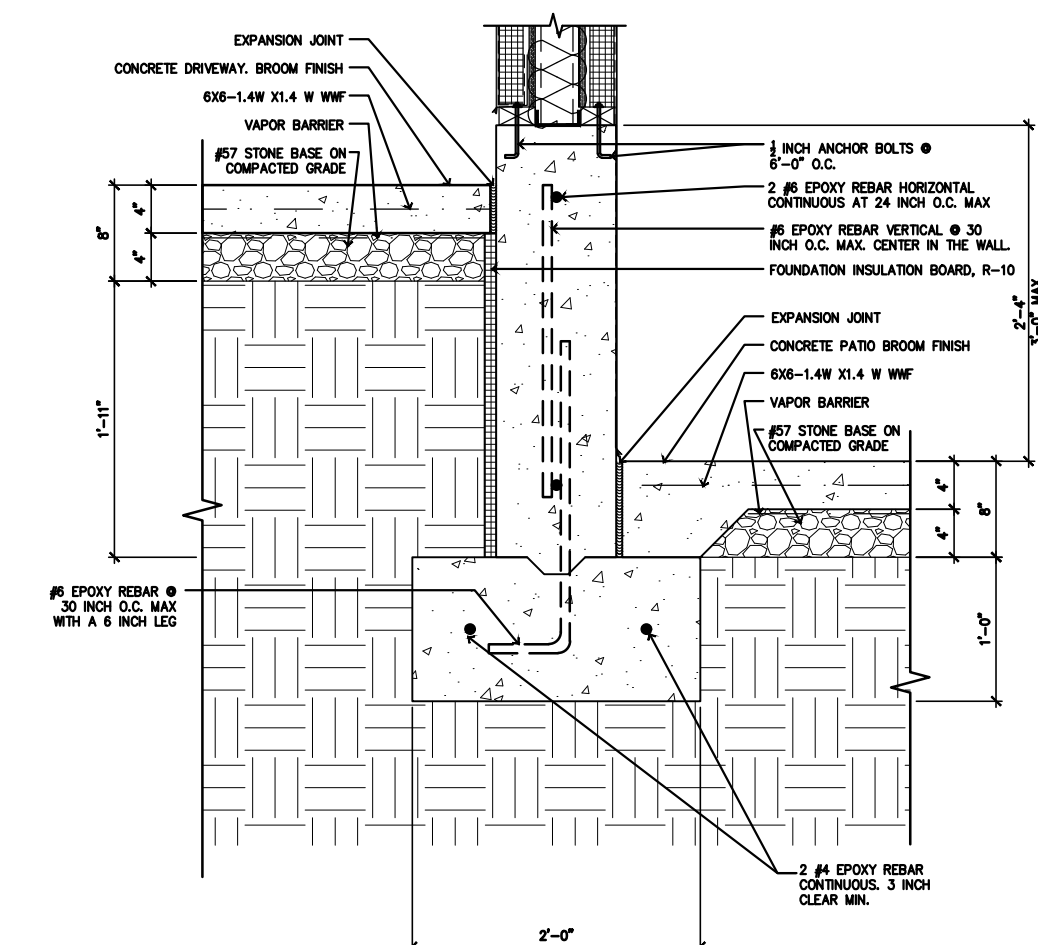
3 WALL SECTION
SCALE: 3/4"=1'-0"



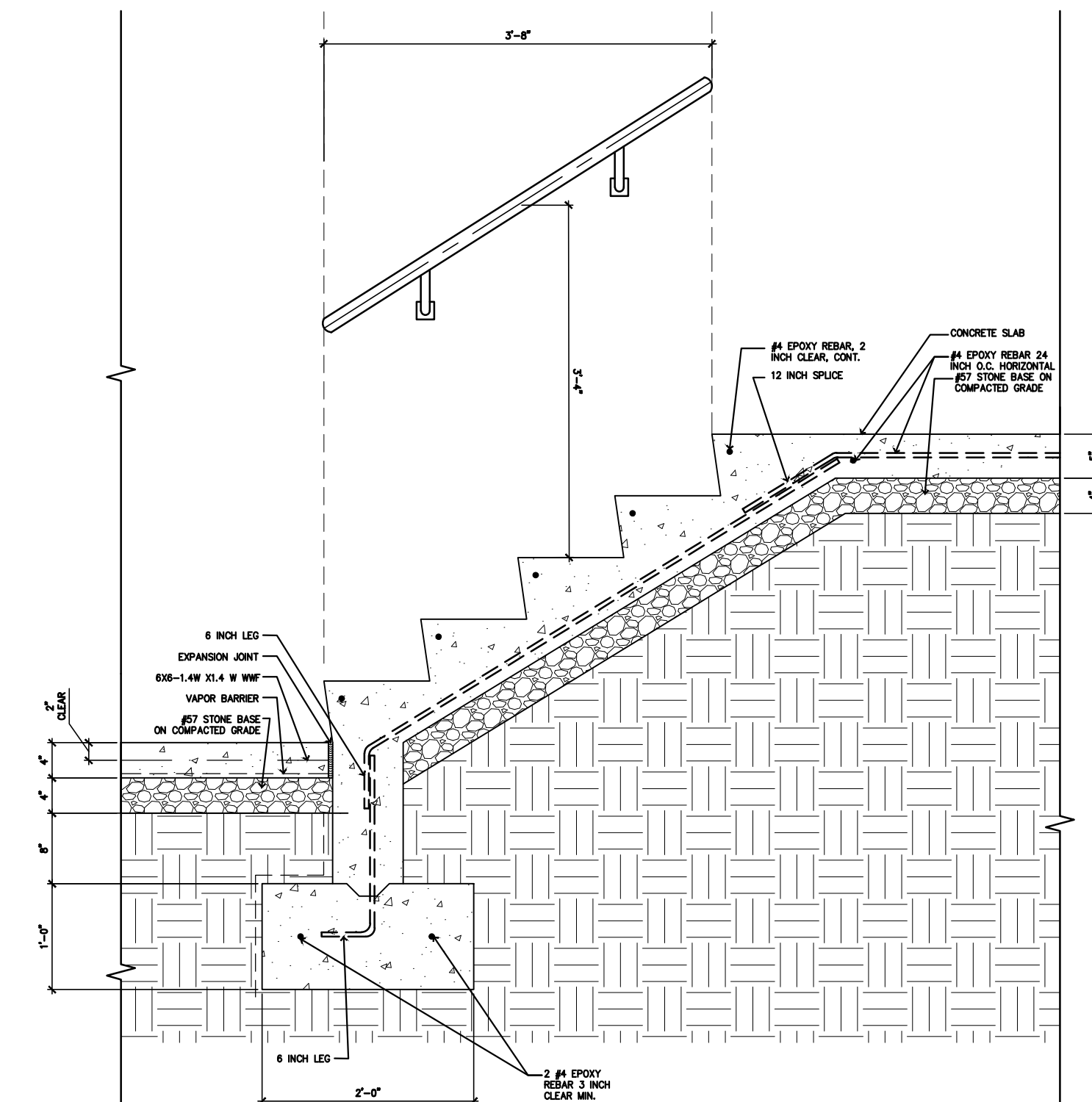
5 TYPICAL SLAB ON GRADE
SCALE: 3/4"=1'-0"



4 HANDRAIL DETAIL
SCALE: 3"=1'-0"



2 CONCRETE FOUNDATION WALL
SCALE: 3/4"=1'-0"



1 CONCRETE STAIR ON GRADE (BACK PATIO)
SCALE: 3/4"=1'-0"

ROOF CURB
EL: 28'-3"

SECOND FLOOR LEVEL
EL: 17'-6"

FIRST FLOOR LEVEL
EL: 8'-9"

BASEMENT FLOOR LEVEL
EL: 0'-0"

